



Tuesday, 29 August 2023

Dear Sir/Madam

A meeting of the Planning Committee will be held on Wednesday, 6 September 2023 in the Council Chamber, Council Offices, Foster Avenue, Beeston NG9 1AB, commencing at 6.00 pm.

Should you require advice on declaring an interest in any item on the agenda, please contact the Monitoring Officer at your earliest convenience.

Yours faithfully

Chief Executive

To Councillors:	D Bagshaw (Chair)	G S Hills
	R S Falvey (Vice-Chair)	G Marshall
	P J Bales	D D Pringle
	L A Ball BEM	H E Skinner
	R E Bofinger	P A Smith
	G Bunn	D K Watts
	S J Carr	

## A G E N D A

### 1. APOLOGIES

To receive apologies and to be notified of the attendance of substitutes.

### 2. DECLARATIONS OF INTEREST

Members are requested to declare the existence and nature of any disclosable pecuniary interest and/or other interest in any item on the agenda.

3. MINUTES (Pages 5 - 10)

The Committee is asked to confirm minutes of the meeting held on 26 July 2023 as a correct record.

4. NOTIFICATION OF LOBBYING

5. DEVELOPMENT CONTROL

5.1 22/00894/REM (Pages 11 - 58)

Construct 104 dwellings (reserved matters access, appearance, landscaping, layout and scale, Planning reference 20/00844/OUT)

Former site of Lynncroft Primary School, Lynncroft, Eastwood, Nottinghamshire

5.2 21/00998/FUL (Pages 59 - 78)

Subdivision of the farmhouse to create tea rooms on ground floor with separate living accommodation above. Repair works to farmhouse roof. Repair and conversion of the traditional barns to create a museum, function rooms and craft workshops. Demolition of existing barn to create parking and servicing areas in association with the development.

Greasley Castle Farm, 120 Church Road, Greasley, Nottinghamshire, NG16 2AB

5.3 21/00999/LBC (Pages 79 - 94)

Subdivision of the farmhouse to create tea rooms on ground floor with separate living accommodation above. Repair works to farmhouse roof. Repair and conversion of the traditional barns to create a museum, function rooms and craft workshops. Demolition of existing barn to create parking and servicing areas in association with the development.

Greasley Castle Farm, 120 Church Road, Greasley, Nottinghamshire, NG16 2AB

5.4 23/00293/FUL (Pages 95 - 112)

Change of use from Use Class C3 to an HMO within Use Class C4

3 Willoughby Street, Beeston, NG9 2LT

- 5.5     23/00126/FUL     (Pages 113 - 124)

Retain addition of hardstanding to an agricultural track, access and gate.

Beauvale Manor Farm, New Road, Greasley, Nottinghamshire, NG16 2AA

6.     INFORMATION ITEMS

- 6.1     Appeal Decision 22/00236/CLUP     (Pages 125 - 126)

- 6.2     Delegated Decisions     (Pages 127 - 138)

7.     EXCLUSION OF PUBLIC AND PRESS

**The Committee is asked to RESOLVE that, under Section 100A of the Local Government Act, 1972, the public and press be excluded from the meeting for the following item of business on the grounds that it involves the likely disclosure of exempt information as defined in paragraph 3 of Schedule 12A of the Act.**

8.     23/00008/ENF     (Pages 139 - 146)

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## **PLANNING COMMITTEE**

**WEDNESDAY, 26 JULY 2023**

Present: Councillor D Bagshaw, Chair

Councillors: P J Bales  
L A Ball BEM  
R E Bofinger  
G Bunn  
S J Carr  
G S Hills  
G Marshall  
D D Pringle  
H E Skinner  
P A Smith  
D K Watts  
R Bullock (Substitute)

An apology for absence was received from Councillors R S Falvey.

13 **DECLARATIONS OF INTEREST**

There were no declarations of interest.

14 **MINUTES**

The minutes of the meeting on 5 July 2023 were confirmed and signed as a correct record, with a minor amendment to the attendance.

15 **NOTIFICATION OF LOBBYING**

The Committee received notification of lobbying in respect of the planning applications subject to consideration at the meeting.

16 **DEVELOPMENT CONTROL**

16.1 **23/00270/FUL**

Demolition of 60 Abbey Road and double garage adjacent. Construct one x two-storey dwelling and five bungalows. Extension and additional floor to storage unit rear of 62. Widening of access from Abbey Road.  
**60-62 Abbey Road, Beeston, Nottingham, NG9 2QF**

Councillor S J Carr asked that this application be considered by the Committee.

The Committee gave due consideration to the late item, a change to the elevations of the commercial building.

There were no public speakers.

Having had due regard for all representations made to it the Committee debated the proposed development with particular attention to the traffic the development could cause and the drainage on the site.

It was proposed by Councillor R E Bofinger and seconded by Councillor D K Watts that, should the proposed development be approved, a condition be added to the planning permission to require that the car parking spaces on the site be constructed from a permeable surface. On being put to the meeting the motion was carried.

**RESOLVED that planning permission, as amended to include a condition to require that the car parking on site be constructed from a permeable surface, be granted subject to the following conditions.**

- 1. The development hereby permitted shall be commenced before the expiration of three years beginning with the date of this permission.**

***Reason: To comply with S91 of the Town and Country Planning Act 1990 as amended by S51 of the Planning and Compulsory Purchase Act 2004.***

- 2. The development hereby permitted shall be carried out in accordance with Site Location Plan 1: 1250, Block Plan 1: 500, 22/1066/12, Proposed Bungalow Elevations, 22/1066/11, Proposed Bungalow Floor Plans and Roof Plan, 22/1066/10, Proposed House Elevations and Floor Plan, 22/1066/15 received by the Local Planning Authority on 04 April 2023, Proposed Store Extension Elevations, Floor Plans and Roof Plan, 22/1066/14B, Semi Detached Bungalow Elevations, 22/1066/16 and Semi Detached Bungalow Floor Plan and Roof Plan received by the Local Planning Authority on 13 April 2023.**

***Reason: For the avoidance of doubt.***

- 3. No building operations shall be carried out above ground level until details of the manufacturer, type and colour of the bricks and tiles to be used have been submitted to and approved in writing by the Local Planning Authority, and the development shall be constructed only in accordance with those details.**

***Reason: To ensure the satisfactory appearance of the development, in accordance with the aims of Policy 17 of the Part 2 Local Plan (2019) and Policy 10 of the Aligned Core Strategy (2014).***

- 4. No development within the full planning permission phase hereby approved shall take place until a Construction / Demolition Method Statement has been submitted to and**

approved in writing by the Borough Council.

The statement shall include:

- a) The means of access for construction traffic;
- b) parking provision for site operatives and visitors;
- c) the loading and unloading of plant and materials;
- d) the storage of plant and materials used in construction / demolition of the development;
- e) a scheme for the recycling/disposal of waste resulting from construction / demolition works / site clearance;
- f) details of dust and noise suppression to be used during the construction phase.
- g) a scheme for the identification and safe removal of any asbestos containing material located on site.

The approved statement shall be adhered to throughout the construction period.

**Reason:** To protect the amenity of neighbouring residents, in accordance with the aims of Policy 17 of the Part 2 Local Plan (2019) and Policy 10 of the Aligned Core Strategy (2014).

- 5. Occupation of the herby approved dwellings shall not take place until the site access has been surfaced in a bound material (not loose gravel) for a minimum distance of 5.0 metres behind the highway boundary, and which shall be drained to prevent the discharge of surface water from the access to the public highway. The bound material and the provision to prevent the discharge of surface water to the public highway shall be retained for the lifetime of the development.

**Reason:** *In the interest of highway safety. in accordance with the aims of Policy 17 of the Part 2 Local Plan (2019) and Policy 10 of the Aligned Core Strategy (2014).*

- 6. Operational building works shall be limited to between 08.00 and 18.00 hours Monday to Friday, 08.00 and 13.00 hours on Saturdays and at no times on Sundays and Bank Holidays.

**Reason:** *In the interest of residential amenity, in accordance with the aims of Policy 17 of the Part 2 Local Plan (2019) and Policy 10 of the Aligned Core Strategy (2014).*

- 7. No development above ground level shall commence until details of the numbers, types and locations of bat and bird boxes have been submitted to and approved in writing by the Local Planning Authority. The bat and bird boxes shall be installed in accordance with the agreed details prior to first occupation of the respective dwelling.

**Reason:** *To secure the provision of such features in the interests of biodiversity and in accordance with the aims of Policy 10 of the Aligned Core Strategy (2014) and Policy 17 of the Part 2 Local Plan (2019).*

8. No stripping, demolition works or works to trees, shrubs or hedges shall take place between 01 March and 31 August, inclusive, of any year unless immediately preceding these works a detailed nesting bird survey by a suitably experienced ecologist has been carried out and provided written confirmation that no active birds' nests or nesting birds are present, to be agreed in writing by the Local Planning Authority. If nesting birds are present, an appropriate exclusion zone, to be agreed in writing with the Local Planning Authority, will be implemented and monitored for the protection of the nesting bird interest on the site. No works shall be undertaken within the exclusion zones whilst nesting birds are present.

*Reason: To ensure the protection of birds and bird habitats, which are protected under the Wildlife and Countryside Act 1981 (as amended).*

9. Prior to the first occupation of the hereby approved dwellings, the parking areas shall be surfaced in a permeable material along with a system to dispose of the surface water drainage, with the details first submitted to and approved in writing by the Local Planning Authority. The parking areas as approved shall thereafter be installed and retained in accordance with the approved details.

*Reason: In the interests of protecting residential amenity.*

#### **NOTES TO APPLICANT**

1. The Council has acted positively and proactively in the determination of this application, through an early visit to the site to appreciate whether any amendments needed to be sought and thus afford sufficient time to negotiate these should it have been the case.
2. The deposit of mud or other items on the public highway, and/or the discharge of water onto the public highway are offences under Sections 149 and 151, Highways Act 1980. The applicant, any contractors, and the owner / occupier of the land must therefore ensure that nothing is deposited on the highway, nor that any soil or refuse etc is washed onto the highway, from the site. Failure to prevent this may force the Highway Authority to take both practical and legal action (which may include prosecution) against the applicant / contractors / the owner or occupier of the land. Where the development site may be accessed by a significant number of vehicles or may be particularly susceptible to material 'tracking' off site onto the highway, details of wheel-washing facilities must be provided to and approved by the Highway Authority.
3. The off-site improvements associated to this consent will require you to undertake works in the public highway, which is land subject to the provisions of the Highways Act 1980 (as amended) and therefore land over which you have no control.

You are therefore required to contact Via East Midlands on 0115 8042100 to obtain the necessary consents/license.

4. As this permission relates to the creation of a new units, please contact the Council's Street Naming and Numbering team: [3015snn@broxtowe.gov.uk](mailto:3015snn@broxtowe.gov.uk) to ensure an addresses are created. This can take several weeks and it is advised to make contact as soon as possible after the development commences. A copy of the decision notice, elevations, internal plans and a block plan are required. For larger sites, a detailed site plan of the whole development will also be required.
5. The proposed development lies within an area that has been defined by the Coal Authority as containing coal mining features at surface or shallow depth. These features may include: mine entries (shafts and adits); shallow coal workings; geological features (fissures and break lines); mine gas and former surface mining sites. Although such features are seldom readily visible, they can often be present and problems can occur, particularly as a result of new development taking place.

Any form of development over or within the influencing distance of a mine entry can be dangerous and raises significant land stability and public safety risks. As a general precautionary principle, the Coal Authority considers that the building over or within the influencing distance of a mine entry should be avoided. In exceptional circumstance where this is unavoidable, expert advice must be sought to ensure that a suitable engineering design which takes into account all the relevant safety and environmental risk factors, including mine gas and mine-water. Your attention is drawn to the Coal Authority Policy in relation to new development and mine entries available at: [www.gov.uk/government/publications/building-on-or-within-the-influencing-distance-of-mine-entries](http://www.gov.uk/government/publications/building-on-or-within-the-influencing-distance-of-mine-entries)

Any intrusive activities which disturb or enter any coal seams, coal mine workings or coal mine entries (shafts and adits) requires a Coal Authority Permit. Such activities could include site investigation boreholes, excavations for foundations, piling activities, other ground works and any subsequent treatment of coal mine workings and coal mine entries for ground stability purposes. Failure to obtain a Coal Authority Permit for such activities is trespass, with the potential for court action.

If any coal mining features are unexpectedly encountered during development, this should be reported immediately to the Coal Authority on 0345 762 6848. Further information is available on the Coal Authority website at: [www.gov.uk/government/organisations/the-coal-authority](http://www.gov.uk/government/organisations/the-coal-authority)

16.2 23/00110/FUL

Demolition of existing dwelling and construction of a two storey dwelling with detached garage

70 Beeston Fields Drive, Bramcote, Nottinghamshire, NG9 3TD

Councillor D K Watts had requested that the application be determined by Committee.

There were no late items.

Susan Price, objecting, made representation to the Committee prior to the general debate.

With regard to all of the representations before it, the Committee commenced the debate with reference to the size of the proposed balcony, which could allow a number of people to gather on it and its position overlooking neighbouring gardens. There was also concern about the height of the balcony which would mean that noise from any parties taking place on it would travel, impacting on neighbour amenity.

**RESOLVED that planning permission be refused with the precise wording of the refusal, to include the overlooking of neighbours and impact on neighbour amenity, be delegated to the Chair of Planning Committee in agreement with the Head of Planning and Economic Development.**

**Reasons**

**The balcony, by virtue of the overlooking issues created, would cause a detrimental impact on the amenity of the properties on Troutbeck Crescent. The development is therefore contrary to policies 10 of the Aligned Core Strategy (2014) and Policy 17 of the Part 2 Local Plan (2019).**

17 INFORMATION ITEMS

17.1 APPEAL DECISION 22/00337/FUL

The appeal decision regarding 4 Foundry House, Newton's Lane, Cossall, was noted.

17.2 APPEAL DECISION 22/00501/FUL

The appeal decision regarding 15 Lambeth Court, Beeston was noted.

17.3 DELEGATED DECISIONS

The delegated decisions were noted.

## Report of the Chief Executive

<b>APPLICATION NUMBER:</b>	<b>22/00894/REM</b>
<b>LOCATION:</b>	<b>Former site of Lynncroft Primary School, Lynncroft, Eastwood, Nottinghamshire</b>
<b>PROPOSAL:</b>	<b>Construct 104 dwellings (reserved matters access, appearance, landscaping, layout and scale, Planning reference 20/00844/OUT)</b>

The application is brought to the Committee as it is a reserved matters application for a major residential development.

### 1 Purpose of Report

The application seeks to gain permission for the matters reserved as part of outline planning permission reference 20/00844/OUT, with the reserved matters being access, appearance, landscaping, layout and scale.

### 2 Recommendation

**The Committee is asked to resolve that planning permission be granted subject to conditions outlined in the appendix.**

### 3 Detail

- 3.1 This application was first brought before Planning Committee on the 05 July 2023 with a recommendation to grant planning permission. Members deferred a decision on the application to seek amended plans in relation to the impact upon the residential amenity of the adjoining neighbours, clarification of affordable housing provision on the site and private driveways.
- 3.2 The principle of the development has been considered to be acceptable through the allocation of the site within the Local Plan Part 2 2019 for residential development of up to 200 dwellings and also the granting of Outline Planning Permission under reference number 20/00844/OUT.
- 3.3 It should be noted that all matters relating to the principle of development, design, access and highway safety, contamination of the land, flood risk and impact on local wildlife/biodiversity were discussed at the previous planning committee meeting, detailed within Appendix 2. Further to this the following report within Appendix 1 includes the consideration of the impact upon the resident amenity of the occupiers of the adjoining land, affordable housing provision and private driveways.
- 3.4 In response to the residential amenity issues discussed at the previous planning committee, the applicant has confirmed that no single storey dwelling will be provided on site due to viability issues. Amended plans have been submitted indicating alterations to the heights of the dwellings backing onto Garden Road and Atherfield Gardens, lower finished floor levels, 1.8m high close boarded timber fencing with a 0.3m high trellis on top and increased heights of trees and landscaping between the proposed and existing properties located on Garden

Road. Detailed site sections and separation distance have also been submitted which also include the reduction in roof height of the proposed dwellings. In addition, detailed sun studies have also been submitted showing the proposed impact of the development upon the occupiers of dwelling located on Garden Road and Atherfield Gardens.

- 3.5 The benefits of the scheme are that the proposal would provide a wide range of size and type of accommodation which would contribute to the delivery of housing stock within the Borough, would provide affordable housing of an amount that would accord with Local Plan policy, it would be set within a layout which encourages sustainable modes of transport with connections to both the built up area of Eastwood and beyond and would provide a good standard of living for the future occupiers. The development would be in accordance with the policies contained within the development plan. This is given significant weight.

- 3.6 The Committee is asked to resolve that planning permission be granted subject to the conditions outlined in the appendix.

4 Financial Implications

There are no additional financial implications for the Council with the costs/income being within the normal course of business and contained within existing budgets.

5 Legal Implications

The comments from the Head of Legal Services were as follows: The Legal implications are set out in the report where relevant, a Legal advisor will also be present at the meeting should legal considerations arise.

6 Data Protection Compliance Implications

Due consideration has been given to keeping the planning process as transparent as possible, whilst ensuring that data protection legislation is complied with.

7 Climate Change Implications

The comments from the Waste and Climate Change Manager were as follows:

No comment.

8 Background Papers

Nil.



## APPENDIX 1

1. Details of the Application

- 1.1 The application seeks approval of reserved matters for the residential areas of the site following the granting of outline planning permission under reference 20/00844/OUT. The design of the dwellings consists of a mix of two and two and a half storey dwellings in a mix of detached, semi-detached and terraced properties. The reserved matters are Access, Appearance, Landscaping, Layout and Scale. An overall total of 10 Affordable Houses are proposed, the breakdown of these units is as follows:

- 5 x 1 Bed Dwellings;
- 5 x 3 Bed Dwellings.

- 1.2 The breakdown of remaining 94 residential units is as follows:

- 15 x 1 Bed Dwellings;
- 14 x 2 Bed Dwellings;
- 36 x 3 Bed Dwellings;
- 24 x 4 Bed Dwellings;
- 5 x 5 Bed Dwellings.

- 1.3 The principle of the development has been considered to be acceptable through the allocation of the site within the Local Plan Part 2 2019 for residential development of up to 200 dwellings and also the granting of Outline Planning Permission under reference number 20/00056/OUT.

- 1.4 As part of the outline planning application, an indicative layout plan was submitted proposing a maximum of 110 dwellings.



It was considered that the indicative layout made good use of the available developable land whilst providing pedestrian links through to the existing Public

Rights of Way including creation of new pedestrian links, and indicative areas for the provision of SuDS as required by the Key Development Requirements (KDR) of Policy 6.1. It was considered that the indicative layout demonstrated that adequate provision for off street parking, bin storage and private external amenity space was achievable. It was also considered that increasing the amount of dwellings on the site may have been over-intensive as it would have the potential to impact on the provision of parking, lead to smaller dwellings and gardens, and have greater impact on neighbour amenity for both existing and future residents. An area was also set aside as a public open space (to the south west of the site).

- 1.5 The submitted planning layout plan submitted for consideration as part of this reserved matters application is considered to have followed the principles of the indicative layout plan, with a central access spine road running through the site, with access via Lynncroft, drainage to the north of the site and public open space to the south west.

## 2. Site and Surroundings

- 2.1 The school buildings, which were located to the east of the site and accessed off Lynncroft, have been demolished. The school had two large areas used as playing fields / sports pitches. The northern area is within the application site and is at a lower ground level than the southern school field, which is outside of the application site boundary. There is approximately a 10m level change over the allocated site as a whole.
- 2.2 There are residential buildings to the north of the site, along Garden Road, which are at a lower ground level. These are mainly two storey semi-detached dwellings with long gardens, which have mature trees along the common boundary with the school site. There is a footpath that links Garden Road to Atherfield Gardens, which is to the west of the site. These are two storey semi-detached dwellings which back on to the site. These are on a level with the fields. To the south of Atherfield, and in the southern most corner, the rear elevations of two storey terraced houses on Grosvenor Road, as well as a small factory to the end of Grosvenor, share the common boundary to their north. The site also shares a common boundary with 173 Lynncroft, which is a detached bungalow. To the rear of the bungalow and south of the former school building's location, there is an area of mature trees known as the Canyons. These are outside of the application site.
- 2.3 To the north of the site, but not directly adjacent, is 28 Garden Road, on the opposite side of the road. This property is a Grade II listed building, being a two storey end of terrace dwelling at the corner of Beardsall Road. The property is listed for its associate significance, having been lived in by D H Lawrence and is part of the DH Lawrence trail.
- 2.4 There is a Public Right of Way which runs from Garden Road, opposite the listed building, southwards (between the school buildings and the playing fields).

## 3. Relevant Planning History

- 3.1 There have been two planning notifications made by the County Council as Education Authority relating to the use of the site as a school and grounds, which were both for security fencing, in 2002 and 2006.
- 3.2 20/00845/OUT - This application was for outline planning permission with all matters reserved for 60 assisted living apartments with access from Walker Street. The application is pending awaiting the signing of a Section 106 Agreement.
- 3.3 20/00844/OUT – This application was for outline planning permission for the construction of up to 110 dwellings with all matters reserved.

4. Relevant Policies and Guidance

**4.1 Greater Nottingham Aligned Core Strategy Part 1 Local Plan 2014:**

4.1.1 The Council adopted the Core Strategy (CS) on 17 September 2014.

- Policy A: Presumption in Favour of Sustainable Development
- Policy 1: Climate Change
- Policy 2: The Spatial Strategy
- Policy 8: Housing Size, Mix and Choice
- Policy 10: Design and Enhancing Local Identity
- Policy 11: The Historic Environment
- Policy 14: Managing Travel Demand
- Policy 16: Green Infrastructure, Parks and Open Spaces
- Policy 17: Biodiversity
- Policy 18: Infrastructure
- Policy 19: Developer Contributions

**4.2 Part 2 Local Plan 2019**

4.2.1 The Council adopted the Part 2 Local Plan on 16 October 2019.

- Policy 1: Flood Risk
- Policy 2: Site Allocations
- Policy 4: Awsworth Site Allocations
- Policy 4.1: Land west of Awsworth (inside the bypass)
- Policy 15: Housing Size, Mix and Choice
- Policy 17: Place-making, Design and Amenity
- Policy 19: Pollution, Hazardous Substances and Ground Conditions
- Policy 20: Air Quality
- Policy 21: Unstable Land
- Policy 22: Minerals
- Policy 23: Proposals Affecting Designated and Non-Designated Heritage Assets
- Policy 24: The Health and Wellbeing Impacts of Development
- Policy 26: Travel Plans
- Policy 30: Landscape

- Policy 31: Biodiversity Assets
- Policy 32: Developer Contributions.

#### 4.3 National Planning Policy Framework (NPPF) 2021:

4.3.1 The National Planning Policy Framework (NPPF) 2021, outlines a presumption in favour of sustainable development, that planning should be plan-led, decisions should be approached in a positive and creative way and high quality design should be sought.

- Section 2 – Achieving Sustainable Development
- Section 4 – Decision-making
- Section 5 – Delivering a sufficient supply of homes
- Section 8 – Promoting healthy and safe communities
- Section 11 – Making effective use of land
- Section 12 – Achieving well-designed places.
- Section 14 - Meeting the challenge of climate change, flooding and coastal change
- Section 15 – Conserving and enhancing the natural environment
- Section 16 - Conserving and enhancing the historic environment.

#### 5. Consultations

5.1 **Broxtowe Borough Council Housing Officer** - Advises that there is high demand for 1, 2 and 3 bedroom properties within the Eastwood area

5.2 Following receipt of amended plans, a re-consultation period was carried out with local residents and other residents who had made representation, along with the posting of site notices. A summary of all responses will be included in the late items.

#### 6. Assessment

##### 6.1 Residential Amenity

6.2 In response to the concerns raised by residents and members at the last planning committee meeting, the applicant has submitted amended plans and additional information in support of the application. These are summarised as follows:

- Plot 62 - roof amended to a hipped, finished floor level and ridge height reduced by 650mm, separation distance 26m Back to Side.
- Plot 61 - finished floor level and ridge height reduced by 650mm.
- Plot 63 - roof amended to a hipped, finished floor level and ridge height reduced by 500mm, separation distance 28m Back to Side from No. 59 Garden Road, separation distance is 31m Back to Side from No. 55 Garden Road.
- Plot 64 – finished floor level and ridge height reduced by 950mm.
- Plot 65 - finished floor level and ridge height reduced by 500 mm.

- Plot 73 – Roof amended to a hipped, separation distance 27m Back to Side from No. 49 Garden Road.
  - Plot 74 - roof pitch reduced from 35 degree to 22.5 degree, separation distance is 42m Back to Back from No. 45 Garden Road.
  - Plot 77 - roof pitch reduced from 35 degree to 22.5 degree, finished floor level reduced by 50mm, separation distance is 43m Back to Back from No. 41 Garden Road.
  - Plot 78 – roof pitch reduced from 35 degree to 22.5 degree, finished floor level reduced by 50mm, separation distance is 41m Back to Back from No. 29 Garden Road.
  - Plot 80 - roof pitch reduced from 35 degree to 22.5 degree, finished floor level reduced by 100mm, separation distance is 50m Back to Back from No. 33 Garden Road.
  - Plot 82 - roof pitch reduced from 35 degree to 22.5 degree, finished floor level reduced by 100mm, separation distance is 50m Back to Back from No. 29 Garden Road.
  - Plot 83 - roof pitch reduced from 35 degree to 22.5 degree, finished floor level reduced by 100mm, separation distance is 54m Back to Back from No. 25 Garden Road.
  - Plot 85 - roof pitch reduced from 35 degree to 22.5 degree, finished floor level reduced by 50mm, separation distance is 54m Back to Back from No. 29 Garden Road.
  - 1.8m close board fence and 0.3m trellis proposed as the boundary treatment for all plots sharing a boundary with Garden Road and Atherfield Gardens.
  - Additional planting is proposed along the boundary adjoining Garden Road.
- 6.3 In support of the above changes, site sections have been submitted indicating the separation distances, land level distances, fencing and landscaping with properties located on Garden Road and Atherfield Gardens. These are provided within the appendix attached to this report along with sun light studies.
- 6.4 Whilst the provision of bungalows backing onto the existing properties located on Garden Road would alleviate any potential overlooking issues and loss of daylight, the applicant has advised that the provision of bungalows on the site would not be viable. In addition, due to the constraints of the site with regards to land levels, the layout proposed is considered acceptable in terms of separation distances, road layouts and public open space provision.
- 6.5 In terms of impacts upon existing residential properties located on Garden Road and Atherfield Gardens, whilst new dwellings are proposed backing onto these properties, adequate separation distances of in excess of 21m have been provided

with the new dwellings being two storey in nature, as set out above. Whilst a site section plan has been submitted in support of the planning application indicating the land levels within the site being higher than the adjacent existing properties located on Garden Road, the provision of the planting of a bank of trees between these properties will provide a natural barrier. In addition, a 1.8m high timber fence with 0.3m trellising on top will also be located to the rear of these properties.

6.6 In terms of the future occupiers, the layout provides for each property to have access to private outdoor amenity space and storage for bins. The layout allows for adequate spacing between each property. Internally, the design and layout allows for satisfactory access to natural light and to an outlook, and the dwellings conform to the DCLG's Technical Housing Standards in terms of internal floor space.

6.7 Whilst the character of the site will change from that of an open field to one of built development, this will not be at odds with the residential character of the area. In view of the above, it is not considered there will be any significant detrimental impact upon the immediate neighbouring properties in respect of overlooking, overbearing or noise impacts.

## 7. **Highway Safety**

7.1 Private driveways are proposed throughout the site. A condition is recommended for details of future maintenance and drainage of the driveways to be submitted and approved in writing.

## 8. **Developer Contributions**

8.1 Developer contributions have been secured by way of a Section 106 Agreement under outline planning permission reference 20/00844/OUT. No further contributions or obligations are sought. In respect of affordable housing provision this was agreed through negotiations as part of the original outline planning application. The Council's Housing Officer advises that there is high demand for 1, 2 and 3 bedroom properties within the Eastwood area. These will be provided on the site in the form of 5 x 1 bedroom two storey properties and 5 x 3 bedroom two storey properties. This shows a 50/50 split between Affordable Rent (Askern x 2 (1 bed +), Baildon x 3 (3 bed) and Shared Ownership (3 x Askern (1 bed +) and 2 x Ripon (3 bed), which is in accordance with the signed Section 106 agreement and Policy 32 of Part 2 Local Plan 2019.

## 9. **Flood Risk**

9.1 Although the site is not in Flood Zones 2 or 3, given the topography of the site, the development would need to ensure that it does not result in an increased risk of flooding to the houses that are at a lower ground level than the site. SuDS features are shown on the layout in line with KDR of Policy 6.1. A Flood Risk Assessment and Drainage Strategy (FRA) was submitted as part of the outline planning application which identified and assessed the risks from all forms of flooding to and from the development and demonstrated how these flood risks will be managed.

9.2 A condition was attached to the outline planning permission for the submission of a detailed surface water drainage scheme based on the principles set forward by the approved Flood Risk Assessment and Drainage Strategy. It is therefore

considered that details will be considered as part of the formal discharge of the relevant condition attached to the outline planning permission 20/00844/OUT.

## **10 Conclusion**

- 10.1 The benefits of the proposal are that the development would provide additional affordable housing, in a sustainable location, and which could contribute to the housing targets for the Borough and provide a wide range of size of housing to meet the needs of the community. The design and layout provides a range of dwelling types and styles enhancing the existing environment by providing attractive green spaces and ease of movement for vehicles, pedestrians and cyclists. The proposed layout will not give rise to any significant impacts upon the residential amenity of existing neighbouring properties and will provide adequate amenity spaces both internally and externally for future occupiers. Issues regarding land contamination, flood risk and biodiversity can be dealt with under the relevant conditions attached to the outline planning permission 20/00844/OUT.
- 10.2 On balance, it is considered that any potential concerns would be outweighed by the benefits of the scheme, which is considered to be in accordance with the policies contained within the development plan. This is given significant weight.
- 10.3 It is recommended that planning permission is granted, subject to the conditions set out below and subject to the relevant conditions imposed under outline permission, reference 20/00844/OUT and in line with the previously agreed Section 106 Agreement.

**Recommendation**

The Committee is asked to RESOLVE that planning permission be granted subject to the following conditions.

1.	<p>The development to which this approval relates shall be begun no later than the expiration of 2 years from the final approval of the reserved matters, or in the case of approval on different dates, the final approval of the last such matter to be approved.</p> <p><i>Reason: To comply with the requirements of Section 92 of the Town and Country Planning Act 1990 as amended.</i></p>
2.	<p>The development hereby permitted shall be carried out in accordance with drawing(s) numbered:</p> <p>Site Location Plan – 6200-100;</p> <p>House Types Floor Plans &amp; Elevations Pack:</p> <ul style="list-style-type: none"> <li>• Askern End – Planning Sheet – Floor Plans (dwg no. AV22/ASK/0-001 RevB);</li> <li>• Baildon End – Planning Sheet – Floor Plans (dwg no. AV22/BAI/0-001 RevC);</li> <li>• Baildon End – Planning Sheet – Elevations (dwg no. AV22/BAI/0-002 RevC);</li> <li>• Cadeby End – Planning Sheet – Elevations (dwg no. AV22/CAD/0-002 RevB);</li> <li>• Cookridge End – Planning Sheet – Floor Plans (dwg no. AV22/COO/0-001 RevC);</li> <li>• Cookridge – Planning Sheet – Elevations (dwg no. AV22/COO/0-002 RevB);</li> <li>• Denby End – Planning Sheet – Floor Plans (dwg no. AV22/DEN/0-001 RevB);</li> <li>• Denby End – Planning Sheet – Elevations (dwg no. AV22/DEN/0-002 RevB);</li> <li>• Fernlee – Planning Sheet – Floor Plans (dwg. FER/END/0-001 RevC);</li> <li>• Horbury Det – Planning Sheet – Floor Plans (dwg no. AV22/HOR/0-001 RevC);</li> <li>• Leyburn Det – Planning Sheet – Floor Plans (dwg no. AV22/LEY/0-001 RevB);</li> <li>• Leyburn – Planning Sheet – Elevations (dwg no. AV22/LEY/0-002 RevC);</li> <li>• Oakwood Semi – Planning Sheet – Floor Plans (dwg no. AV22/OAK/0-001 RevB);</li> <li>• Ripon End – Planning Sheet – Floor Plans (dwg no. AV22/RIP/0-001 RevB);</li> <li>• Thornton Det – Planning Sheet – Floor Plans (dwg no. AV22/THO/0-001 RevC);</li> </ul>

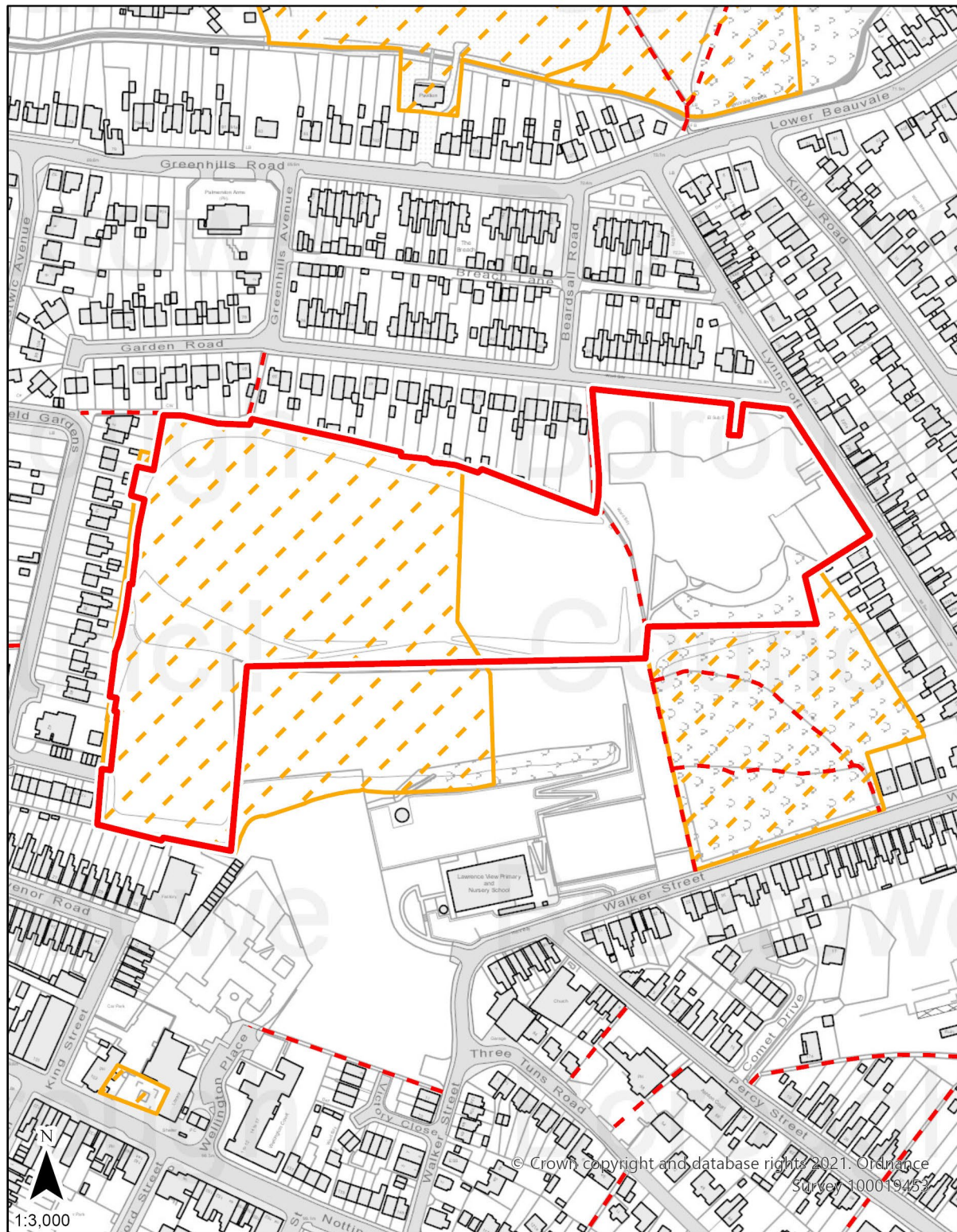


	<ul style="list-style-type: none"> <li>• Wentbridge Det – Planning Sheet – Floor Plans (dwg no. AV22/WEN/0-001 RevB);</li> </ul> <p>Single Garage Floor Plan &amp; Elevations (dwg no. 500/001 rev. A);</p> <p>Boundary Treatments – 1.8m High Brick Pier &amp; Panel Wall (dwg no. SD 12-001);</p> <p>Boundary Treatments – 1.2m Post &amp; Rail (dwg no. SD 12-010);</p> <p>Boundary – 1.8m Screen Fence (dwg no. SD 12-025);</p> <p>Arboricultural Impact Assessment, Tree Impact Plan and Tree Constraints Plan;</p> <p>Received by the Local Planning Authority 18 November 2022. Hedgehog Highway Standard Details SD12-045A;</p> <p>Received by the Local Planning Authority 24 March 2023.</p> <p>Ecological Enhancement Plan 6200-290B;</p> <p>Received by the Local Planning Authority 19 April 2023.</p> <p>Tracking Plan 620 – 295C;</p> <p>Lynncroft POS Levels Layout 6200-203;</p> <p>Received by the Local Planning Authority 31 May 2023.</p> <p>Materials Layout 6200 250C;</p> <p>Received by the Local Planning Authority 14 June 2023.</p> <ul style="list-style-type: none"> <li>• Askern Hipped - dwg. no. ASK/HIP/END/0-002;</li> <li>• Askern End - dwg. no. ASK/LP/END/0-002 Rev A;</li> <li>• Cadeby – Det - dwg. no. CAD/LP/0-002 Rev A;</li> <li>• Fernlee End - dwg. no. FER/LP/END/0-002 Rev A;</li> <li>• Horbury Detached - dwg. no. HOR/LP/0-002 Rev A;</li> <li>• Oakwood - dwg. no. OAK/LP/0-002 Rev A;</li> <li>• Ripon Hipped - dwg. no. RIP/END/Hip/0-002 Rev A;</li> <li>• Ripon End - dwg. no. RIP/END/LP/0-002 Rev A;</li> <li>• Thornton Detached - dwg. no. THO/DET/Hip/0-002 Rev A;</li> </ul>
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	<ul style="list-style-type: none"> <li>• Wentbridge Detached - dwg. no. WEN/LP/0-002 Rev A;</li> <li>• Planning Layout - dwg. no. 6200 – 200 – Rev J;</li> <li>• Presentation Layout - dwg. no. 6200 – 200 – Rev J;</li> <li>• Site Sections (sheet 1) - dwg. no. 6200-230-001 Rev B;</li> <li>• Site Sections (sheet 2) - dwg. no. 6200-230-002 Rev A;</li> <li>• Managed Phasing Plan - dwg. no. 6200 - 310.2 Rev C;</li> <li>• Managed Areas Plan - dwg. no. 6200 – 310 Rev C;</li> <li>• Tenure Split Plan - dwg. no. 6200 – 320;</li> <li>• Landscape Masterplan – dwg. no. R/2658/1F;</li> <li>• Fence details - 1.8m High Fence, with 0.3m Trellis (2.1m total fence height) - dwg. no. SD 12- 040;</li> </ul> <p>Received by the Local Planning Authority 04 August 2023.</p> <p><i>Reason: For the avoidance of doubt.</i></p>
3.	<p>No part of the development hereby permitted shall commence until details of the proposed arrangements and plan for future management and maintenance of the shared private drive including associated drainage have been submitted to and approved in writing by the Local Planning Authority. The shared private drive and drainage shall thereafter be maintained in accordance with the approved management and maintenance details until such time that a private Management and Maintenance Company has been established.</p> <p><i>Reason: In the interest of highway safety and in accordance with Policy 10 of the Aligned Core Strategy 2014 and Policy 17 of the Part 2 Local Plan 2019.</i></p>
4.	<p>Occupation of the proposed dwellings shall not take place until traffic calming features have been provided in accordance with details first submitted to and approved in writing by the Local Planning Authority.</p> <p><i>Reason: In the interest of highway safety and in accordance with Policy 10 of the Aligned Core Strategy 2014 and Policy 17 of the Part 2 Local Plan 2019.</i></p>
5.	<p>Occupation of the proposed dwellings shall not take place until their respective driveways / shared driveways have been surfaced in a bound material (not loose gravel) for a minimum distance of</p>

	<p>5.0 metres behind the highway boundary, and which shall be drained to prevent the discharge of surface water from the driveways to the public highway. The bound material and the provision to prevent the discharge of surface water to the public highway shall be retained for the lifetime of the development.</p> <p><i>Reason: In the interest of highway safety and in accordance with Policy 10 of the Aligned Core Strategy 2014 and Policy 17 of the Part 2 Local Plan 2019.</i></p>
	<b>NOTES TO APPLICANT</b>
1.	The Council has acted positively and proactively in the determination of this application by working to determine it within the agreed determination timescale.
2.	The proposed development lies within a coal mining area which may contain unrecorded coal mining related hazards. If any coal mining feature is encountered during development, this should be reported immediately to the Coal Authority on 0345 762 6848. Further information is also available on the Coal Authority website at: <a href="http://www.gov.uk/government/organisations/the-coal-authority">www.gov.uk/government/organisations/the-coal-authority</a>
3.	As this permission relates to the creation of new units, please contact the Council's Street Naming and Numbering team: <a href="mailto:3015snn@broxtowe.gov.uk">3015snn@broxtowe.gov.uk</a> to ensure addresses are created. This can take several weeks and it is advised to make contact as soon as possible after the development commences. A copy of the decision notice, elevations, internal plans and a block plan are required. For larger sites, a detailed site plan of the whole development will also be required.
4.	The associated S106 Agreement and all relevant conditions on the outline permission (20/00844/OUT) must be complied with.
5.	<p>The applicant should note that notwithstanding any planning permission that if any highway forming part of the development is to be adopted by the Highways Authority, the new roads and any highway drainage will be required to comply with the Nottinghamshire County Council's current highway design guidance and specification for roadworks.</p> <p>a) The Advanced Payments Code in the Highways Act 1980 applies and under section 219 of the Act payment will be required from the owner of the land fronting a private street on which a new building is to be erected. The developer should contact the Highway Authority with regard to compliance with the Code, or alternatively to the issue of a Section 38 Agreement and bond under the Highways Act 1980. A Section 38 Agreement can take some time to</p>

	<p>complete. Therefore, it is recommended that the developer contact the Highway Authority as early as possible.</p> <p>b) It is strongly recommended that the developer contact the Highway Authority at an early stage to clarify the codes etc. with which compliance will be required in the particular circumstance, and it is <u>essential</u> that design calculations and detailed construction drawings for the proposed works are submitted to and approved by the County Council (or District Council) in writing before any work commences on site.</p> <p>Correspondence with the Highway Authority should be addressed to: <a href="mailto:hdc.south@nottsc.gov.uk">hdc.south@nottsc.gov.uk</a></p> <p>Please note, any details submitted in relation to a reserved matters or discharge of condition planning application, are unlikely to be considered by the HA until technical approval of the Section 278-38 Agreement is issued.</p>
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Legend

- Site Outline
- Byway open to all traffic
- Bridleway
- Footpath
- Open Spaces



Photographs

**Access point from Lynncroft**



**Neighbouring property on Lynncroft**



**Footpath access point from Walker Street and Garden Road**





**Photos from within the site**



**Rear boundaries of properties located on Garden Road**



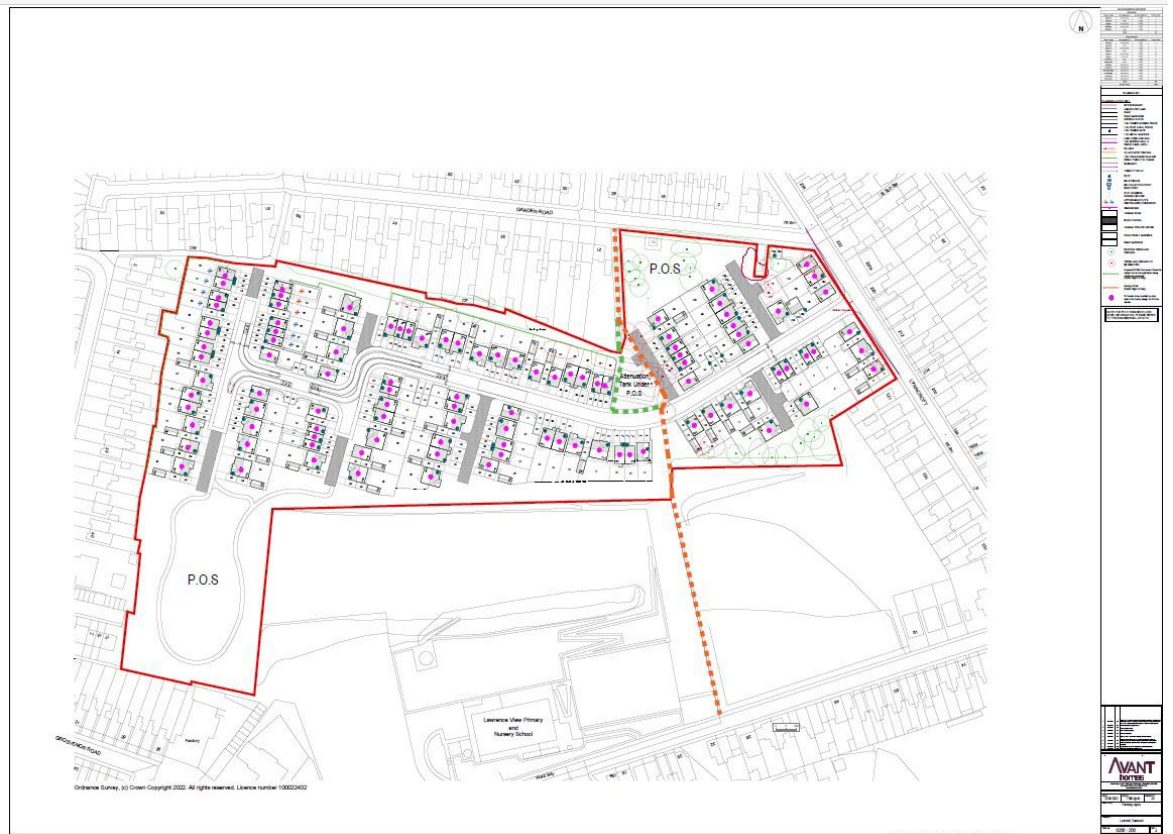
**Rear boundaries of properties located on Atherfield Gardens**





Plans (not to scale)

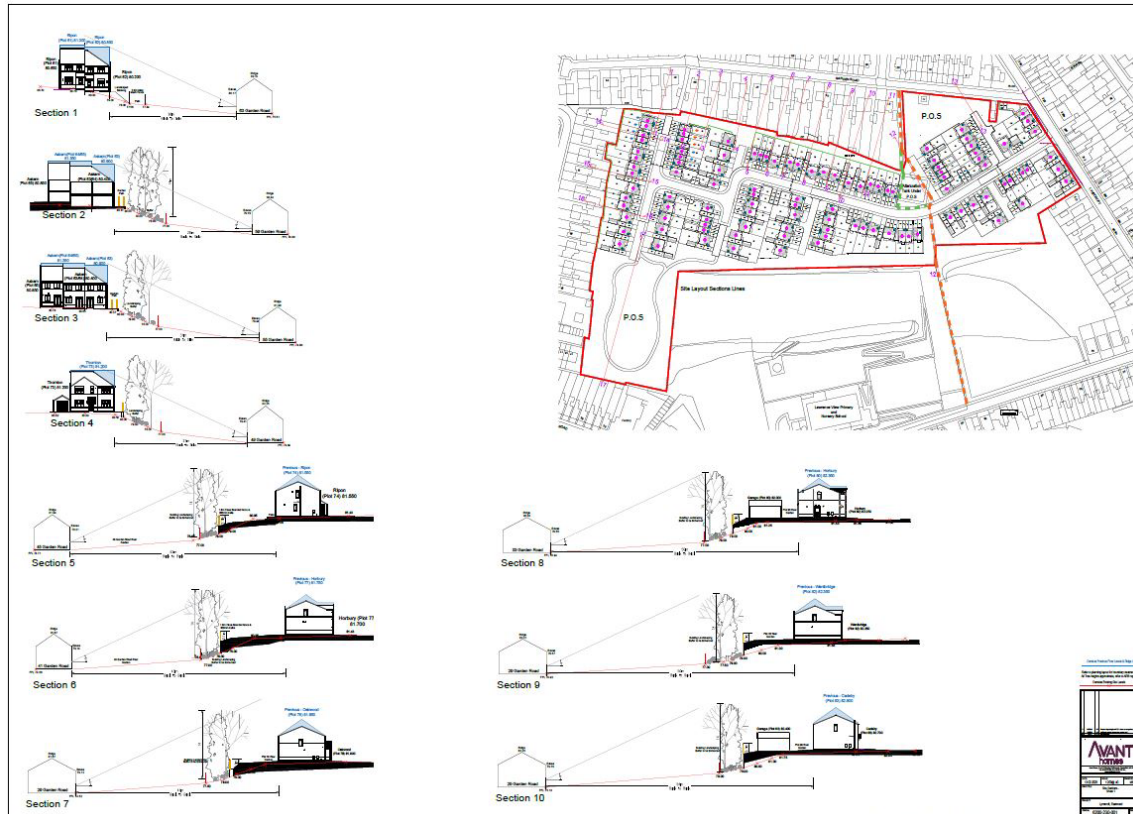
Proposed Site Plan



Landscape Masterplan



## Site Sections with Garden Road



## Site Sections with Atherfield Gardens



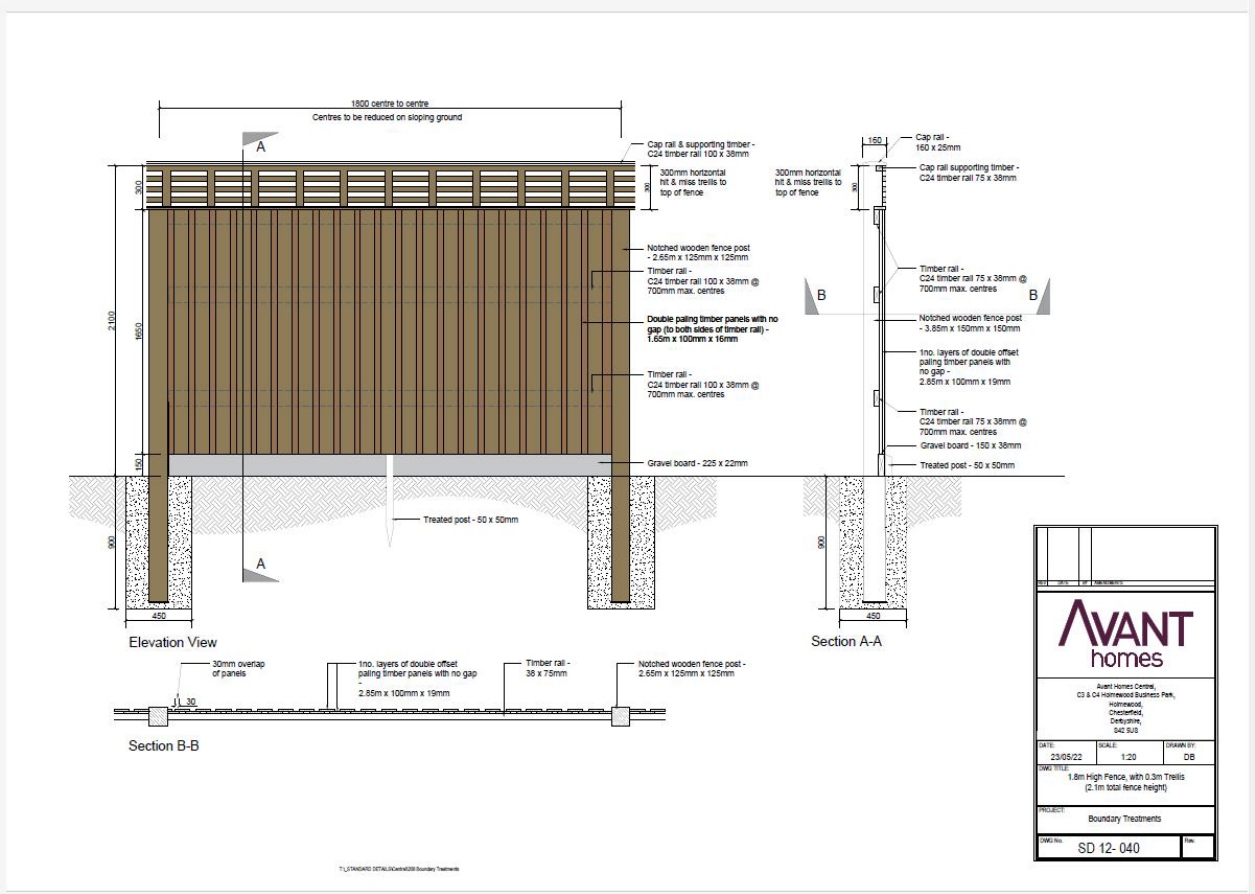
Typical House Types



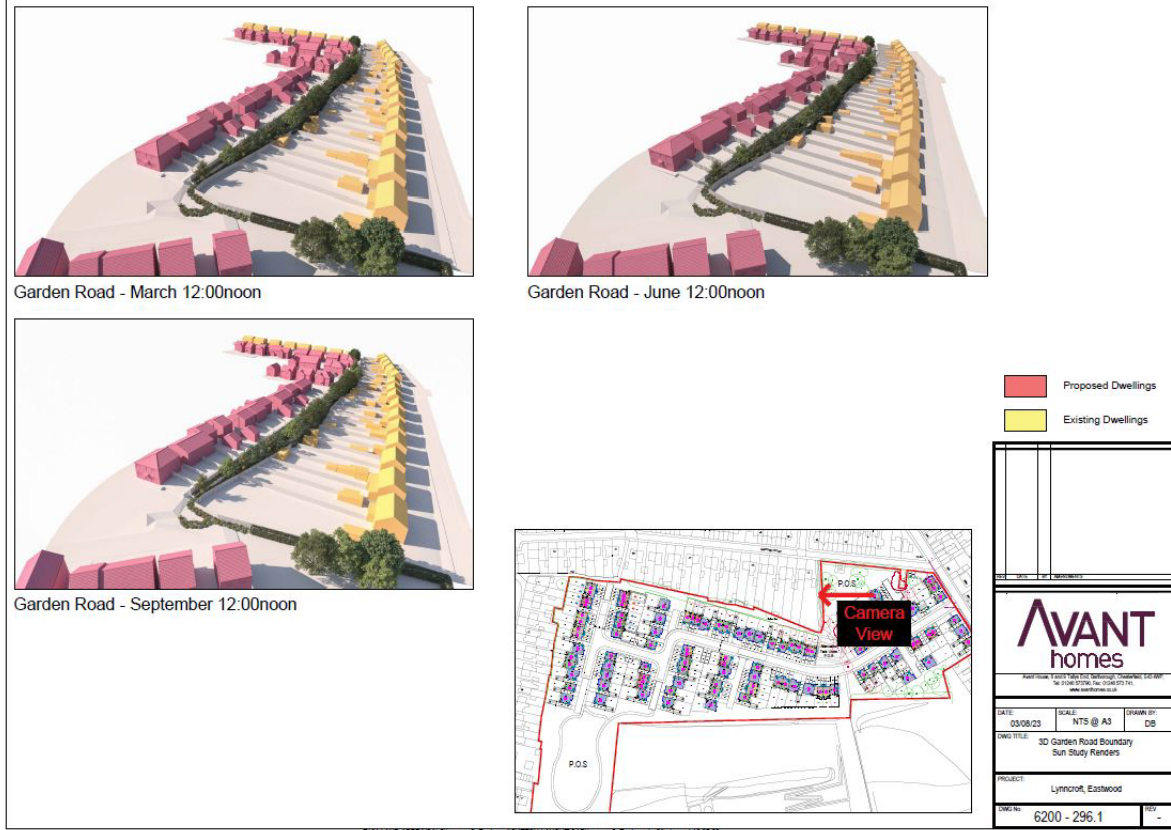




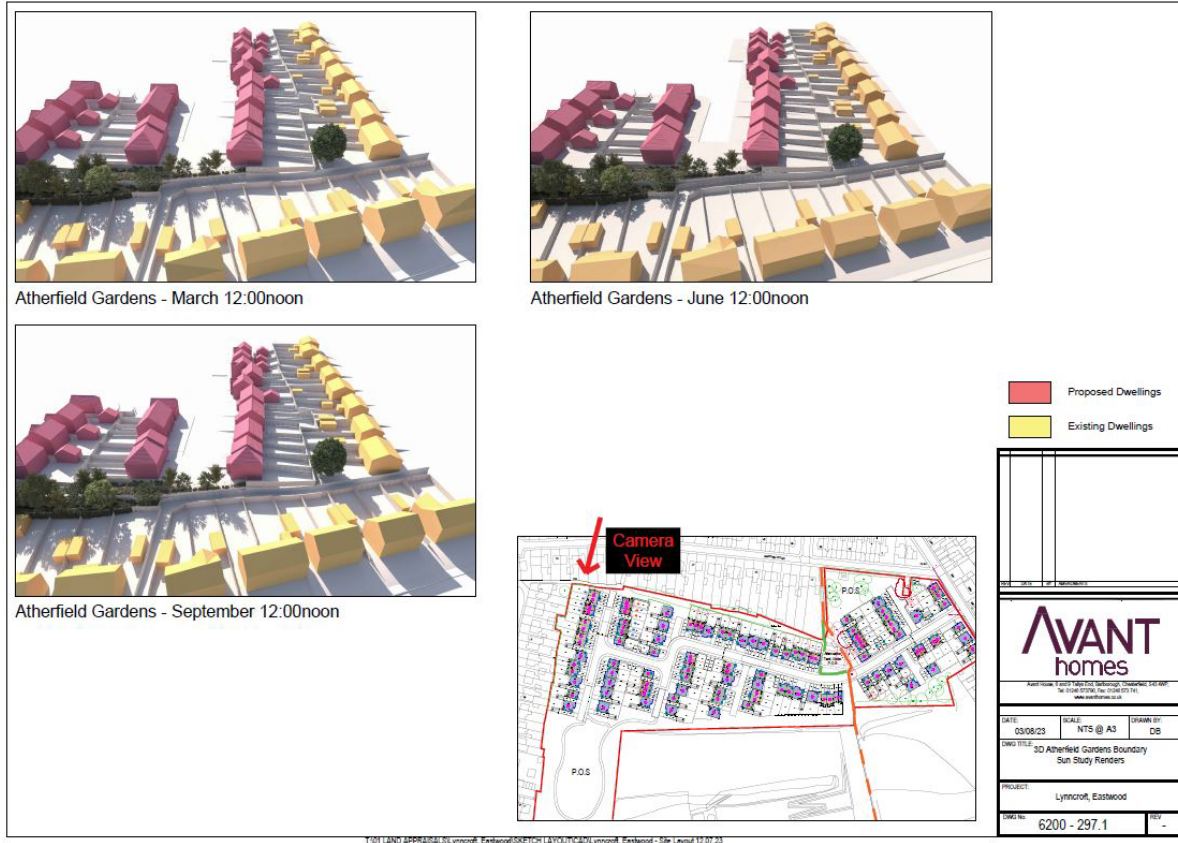
Fence Detail (1.8m with 0.3m trellis on top)



## Sun Study (Garden Road)



## Sun Study (Atherfield Gardens)



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## APPENDIX 2

## Report of the Chief Executive

<b>APPLICATION NUMBER:</b>	<b>22/00894/REM</b>
<b>LOCATION:</b>	<b>Former site of Lynncroft Primary School, Lynncroft, Eastwood, Nottinghamshire</b>
<b>PROPOSAL:</b>	<b>Construct 104 dwellings (reserved matters access, appearance, landscaping, layout and scale, Planning reference 20/00844/OUT)</b>

The application is brought to the Committee as it is a reserved matters application for a major residential development.

### 1.1 Purpose of Report

The application seeks to gain permission for the matters reserved as part of outline planning permission reference 20/00844/OUT, with the reserved matters being access, appearance, landscaping, layout and scale.

### 1.2 Recommendation

**The Committee is asked to resolve that planning permission be granted subject to conditions outlined in the appendix.**

### 1.3 Detail

- 1.3.1 The principle of the development has been considered to be acceptable through the allocation of the site within the Local Plan Part 2 2019 for residential development of up to 200 dwellings and also the granting of Outline Planning Permission under reference number 20/00844/OUT.
- 1.3.2 There is currently an outline planning application pending (20/00845/OUT) which was presented to Planning Committee and approved subject to completion of a s.106 Agreement in June 2022. The application was for outline planning permission with all matters reserved for 60 assisted living apartments with access from Walker Street. The application is pending awaiting the signing of a Section 106 Agreement.
- 1.3.3 The site was formerly occupied by a primary school which included playing fields to the west of the main school buildings, which have since been demolished. Pedestrian and vehicular access to the school was situated off Lynncroft.
- 1.3.4 The main issues relate to whether the principle of residential development is acceptable; whether the layout and design of the development is acceptable, whether there will be any impacts upon residential amenity, whether there would be any detrimental impact on highway safety, contamination of the land, flood risk and the impact on local wildlife/biodiversity.
- 1.3.5 The benefits of the scheme are that the proposal would provide a wide range of size and type of accommodation which would contribute to the delivery of housing stock within the Borough, would provide affordable housing of an amount that would accord with Local Plan policy, it would be set within a layout which encourages

sustainable modes of transport with connections to both the built up area of Eastwood and beyond and would provide a good standard of living for the future occupiers. The development would be in accordance with the policies contained within the development plan. This is given significant weight.

- 1.3.6 The Committee is asked to resolve that planning permission be granted subject to the conditions outlined in the appendix.

**1.4 Financial Implications**

There are no additional financial implications for the Council with the costs/income being within the normal course of business and contained within existing budgets.

**1.5 Legal Implications**

The comments from the Head of Legal Services were as follows: The Legal implications are set out in the report where relevant, a Legal advisor will also be present at the meeting should legal considerations arise.

**1.6 Data Protection Compliance Implications**

Due consideration has been given to keeping the planning process as transparent as possible, whilst ensuring that data protection legislation is complied with.

**1.7 Background Papers**

Nil



## APPENDIX

1. Details of the Application

- 1.1 The application seeks approval of reserved matters for the residential areas of the site following the granting of outline planning permission under reference 20/00844/OUT. The design of the dwellings consists of a mix of two and two and a half storey dwellings in a mix of detached, semi-detached and terraced properties. The reserved matters are Access, Appearance, Landscaping, Layout and Scale. An overall total of 10 Affordable Houses are proposed, the breakdown of these units is as follows:

- 5 x 1 Bed Dwellings;
- 5 x 2 Bed Dwellings.

- 1.2 The breakdown of remaining 100 residential units is as follows:

- 15 x 1 Bed Dwellings;
- 14 x 2 Bed Dwellings;
- 36 x 3 Bed Dwellings;
- 21 x 4 Bed Dwellings;
- 8 x 5 Bed Dwellings.

- 1.3 The principle of the development has been considered to be acceptable through the allocation of the site within the Local Plan Part 2 2019 for residential development of up to 200 dwellings and also the granting of Outline Planning Permission under reference number 20/00056/OUT.

- 1.4 As part of the outline planning application, an indicative layout plan was submitted proposing a maximum of 110 dwellings.



It was considered that the indicative layout made good use of the available developable land whilst providing pedestrian links through to the existing Public Rights of Way including creation of new pedestrian links, and indicative areas for the provision of SuDS as required by the Key Development Requirements (KDR) of Policy 6.1. It was considered that the indicative layout demonstrated that

adequate provision for off street parking, bin storage and private external amenity space was achievable. It was also considered that increasing the amount of dwellings on the site may have been over-intensive as it would have the potential to impact on the provision of parking, lead to smaller dwellings and gardens, and have greater impact on neighbour amenity for both existing and future residents. An area was also set aside as a public open space (to the south west of the site).

- 1.5 The submitted planning layout plan submitted for consideration as part of this reserved matters application is considered to have followed the principles of the indicative layout plan, with a central access spine road running through the site, with access via Lynncroft, drainage to the north of the site and public open space to the south west.

## 2. Site and Surroundings

- 2.1 The school buildings, which were located to the east of the site and accessed off Lynncroft, have been demolished. The school had two large areas used as playing fields / sports pitches. The northern area is within the application site and is at a lower ground level than the southern school field, which is outside of the application site boundary. There is approximately a 10m level change over the allocated site as a whole.
- 2.2 There are residential buildings to the north of the site, along Garden Road, which are at a lower ground level. These are mainly two storey semi-detached dwellings with long gardens, which have mature trees along the common boundary with the school site. There is a footpath that links Garden Road to Atherfield Gardens, which is to the west of the site. These are two storey semi-detached dwellings which back on to the site. These are on a level with the fields. To the south of Atherfield, and in the southern most corner, the rear elevations of two storey terraced houses on Grosvenor Road, as well as a small factory to the end of Grosvenor, share the common boundary to their north. The site also shares a common boundary with 173 Lynncroft, which is a detached bungalow. To the rear of the bungalow and south of the former school building's location, there is an area of mature trees known as the Canyons. These are outside of the application site.
- 2.3 To the north of the site, but not directly adjacent, is 28 Garden Road, on the opposite side of the road. This property is a Grade II listed building, being a two storey end of terrace dwelling at the corner of Beardsall Road. The property is listed for its associate significance, having been lived in by D H Lawrence and is part of the DH Lawrence trail.
- 2.4 There is a Public Right of Way which runs from Garden Road, opposite the listed building, southwards (between the school buildings and the playing fields).

## 3. Relevant Planning History

- 3.1 There have been two planning notifications made by the County Council as Education Authority relating to the use of the site as a school and grounds, which were both for security fencing, in 2002 and 2006.

- 3.2 20/00845/OUT - This application was for outline planning permission with all matters reserved for 60 assisted living apartments with access from Walker Street. The application is pending awaiting the signing of a Section 106 Agreement.
- 3.3 20/00844/OUT – This application was for outline planning permission for the construction of up to 110 dwellings with all matters reserved.

4. Relevant Policies and Guidance

**4.1 Greater Nottingham Aligned Core Strategy Part 1 Local Plan 2014:**

4.1.1 The Council adopted the Core Strategy (CS) on 17 September 2014.

- Policy A: Presumption in Favour of Sustainable Development
- Policy 1: Climate Change
- Policy 2: The Spatial Strategy
- Policy 8: Housing Size, Mix and Choice
- Policy 10: Design and Enhancing Local Identity
- Policy 11: The Historic Environment
- Policy 14: Managing Travel Demand
- Policy 16: Green Infrastructure, Parks and Open Spaces
- Policy 17: Biodiversity
- Policy 18: Infrastructure
- Policy 19: Developer Contributions

**4.2 Part 2 Local Plan 2019**

4.2.1 The Council adopted the Part 2 Local Plan on 16 October 2019.

- Policy 1: Flood Risk
- Policy 2: Site Allocations
- Policy 4: Awsworth Site Allocations
- Policy 4.1: Land west of Awsworth (inside the bypass)
- Policy 15: Housing Size, Mix and Choice
- Policy 17: Place-making, Design and Amenity
- Policy 19: Pollution, Hazardous Substances and Ground Conditions
- Policy 20: Air Quality
- Policy 21: Unstable Land
- Policy 22: Minerals
- Policy 23: Proposals Affecting Designated and Non-Designated Heritage Assets
- Policy 24: The Health and Wellbeing Impacts of Development
- Policy 26: Travel Plans
- Policy 30: Landscape
- Policy 31: Biodiversity Assets
- Policy 32: Developer Contributions

### 4.3 National Planning Policy Framework (NPPF) 2021:

4.3.1 The National Planning Policy Framework (NPPF) 2021, outlines a presumption in favour of sustainable development, that planning should be plan-led, decisions should be approached in a positive and creative way and high quality design should be sought.

- Section 2 – Achieving Sustainable Development
- Section 4 – Decision-making
- Section 5 – Delivering a sufficient supply of homes
- Section 8 – Promoting healthy and safe communities
- Section 11 – Making effective use of land
- Section 12 – Achieving well-designed places.
- Section 14 - Meeting the challenge of climate change, flooding and coastal change
- Section 15 – Conserving and enhancing the natural environment
- Section 16 - Conserving and enhancing the historic environment

### 5. Consultations

5.1 **Nottinghamshire County Council Highways** – No objections subject to conditions outlined in the appendix.

5.2 **Nottinghamshire County Council Rights of Way** – No objections.

5.3 **Nottinghamshire Wildlife Trust** – Provide general advice regarding ecology on the site.

5.4 **Council's Waste Collection** – Provide general advice regarding bin storage requirements.

5.5 **Environmental Health** – No objections.

5.6 **Nottinghamshire County Council Local Lead Flood Risk Authority** – Raise no objections.

5.7 **The Councils Tree Officer** - No objections to the proposal

5.8 **Eastwood Town Council** – Raise objections on the grounds of over intensification of the site, access and egress from the site onto an already over used narrow steep road, alternative access should be considered via Nottingham Road, lack of open space and the impact on existing residents of Garden Road,

5.9 **Written representations** – Site notices were originally posted, a press notice published and neighbouring properties. Following receipt of amended plans, neighbours were re consulted along with the posting of site notices. 68 responses were received. The responses can be summarised as follows:

- Flood risk;
- No mention of provision to deal with un-regulated surface water run-off;

- Single access to 110 dwellings is inadequate as Lynncroft is a narrow road, an additional access onto other roads is needed;
- The layout should ensure that all units have adequate parking so as to avoid on-street parking and overflow onto nearby roads;
- Loss of valued greenfield site and playing fields, which is currently available for use by the public;
- Neighbour amenity, particularly overlooking and loss of privacy due to the raised level of the site, and noise and disturbance;
- Impact on character and appearance of the area, which is currently open and green;
- Concerns in respect of construction traffic including deliveries of materials and impact on adjacent streets, which is not suitable for HGV's, and in respect of construction traffic parking on nearby roads;
- Noise and disturbance during construction works;
- Consideration of landscaping to provide buffer between the development and existing houses;
- Doctors and schools will be overrun.

## 6. **Assessment**

- 6.1 The main issues relate to whether the principle of residential development is acceptable; whether the layout and design of the development is acceptable, whether there will be any impacts upon residential amenity, whether there would be any detrimental impact on highway safety, contamination of the land, flood risk and the impact on local wildlife/biodiversity. These are discussed in turn as follows:

## 7. **Principle**

- 7.1 Policy 8 of the Broxtowe Aligned Core Strategy (ACS) and Policy 15 of the Part 2 Local Plan 2019 state that residential development should maintain, provide and contribute to a mix of housing tenures, types and sizes. Policy 17 of the Part 2 Local Plan states that permission will be granted for development which integrates into its surroundings, creates well defined streets and places, provides adequate amenity space, ensures a satisfactory degree of amenity and does not prejudice the satisfactory development of a wider area. Policy 10 of the ACS (d and e) states that massing, scale, proportion, materials, architectural style and detailing will be considerations when assessing development.
- 7.2. The development of the site for residential purposes has been established through the allocation of the site within the Part 2 Local Plan 2019 for up to 200 dwellings. Outline Planning Permission has also been granted under reference number 20/00844/OUT with all matters reserved for up to 110 dwellings. The principle of development of the site for residential purposes is considered acceptable, subject to the consideration of other material planning considerations.
- 7.3. For clarity this scheme is for 104 dwellings representing a removal of 6 dwellings in total from the outline planning permission 20/00844/OUT, which was for up to a total of 110 dwellings. Additionally, the 60 assisted living apartments currently pending consideration subject to the signing of a S106 Agreement accessed off Walker Street under reference number 20/00845/OUT will bring the total number

of dwellings allocated for the development of the site in under the site allocation within the adopted Part 2 Local Plan 2019, which was for up to 200 dwellings.

**8. Design and Visual Amenity**

- 8.1 Policy 10 - Design and Enhancing Local Identity of the Aligned Core Strategy states design and layout principles to be applied to new development and looks to ensure that valued local characteristics are reinforced. Policy 17 of the Part 2 Local Plan states that extensions should be of a size, siting and design that makes a positive contribution to the character and appearance of the area and does not dominate the existing building or appear over-prominent in the street scene.
- 8.2 The layout plan submitted with the application shows a central road through the site with access taken from Lynncroft. Smaller secondary roads and private drives lead to dwellings off this primary route. All dwellings will be sited to front the existing street scene of Lynncroft and the central road through the site, with the exception of those located on private driveways. The proposed dwellings comprise a mix of two storey buildings varying from two to five bedrooms, with various plots benefitting from either integral, attached or detached garages. The development will include a variety of different house types of individual design which will add to the individual appearance of the internal layout of the development. Private driveways serving the dwellings are proposed to the side, front and rear of the dwellings.
- 8.3 In terms of existing hedgerows and trees within the site and along the boundaries these are to be retained. To complement the existing hedgerows and trees, additional planting and public open space areas are proposed. The proposed public open space within the site will be managed by the developers and this will be secured through a maintenance company via the S106 Agreement associated with the outline planning permission 20/00844/OUT. The existing public right of way running through the site from Walker Street to Garden Road will remain.
- 8.4 To conclude, the variety in appearance of the house types throughout the development along with the open spaces and proposed landscaping will create an interesting and pleasant environment. Whilst it is acknowledged that the character of the site will change from that of a field to one of built development, this will not be at odds with the residential character of the area. The proposal is not considered to have any significant detrimental impact upon the visual amenity of the area and is in accordance with policy 10 of the Aligned Core Strategy and policy 17 of the Part 2 Local Plan.

**9. Residential Amenity**

- 9.1 Objections have been received from neighbouring properties in respect of loss of views, loss of privacy, overlooking, loss of daylight/sunlight, sense of enclosure and noise/dust during the construction period.
- 9.2 The proposed layout indicates the provision of six detached two storey dwellings fronting onto Lynncroft. Whilst there are existing dwellings located opposite, there is an open highway between these proposed and a separation distance of in excess of 13m. This relationship is not at odds with the relationship of the existing dwellings where facing each other located on Lynncroft. Directly to the side of Plot 1 fronting onto

Lynncroft there is an existing single storey dwelling. This plot is set away from the boundary with a private driveway to the side and there are no side facing habitable windows on the adjacent property. In terms of impacts upon existing residential properties located on Garden Road and Atherfield Gardens, whilst new dwellings are proposed backing onto these properties, adequate separation distances of in excess of 21m have been provided with the new dwellings being two storey in nature. Whilst a site section plan has been submitted in support of the planning application indicating the land levels within the site being higher than the adjacent existing properties located on Garden Road, the provision of the planting of a bank of trees between these properties will provide a natural barrier. In addition, a 1.8m high timber fence will also be located to the rear of these properties.

- 9.3 In terms of the future occupiers, the layout provides for each property to have access to private outdoor amenity space and storage for bins. The layout allows for adequate spacing between each property. Internally, the design and layout allows for satisfactory access to natural light and to an outlook, and the dwellings conform to the DCLG's Technical Housing Standards in terms of internal floor space.
- 9.4 Whilst the character of the site will change from that of an open field to one of built development, this will not be at odds with the residential character of the area. In view of the above, it is not considered there will be any significant detrimental impact upon the immediate neighbouring properties in respect of overlooking, overbearing or noise impacts.

10. **Highway Safety**

- 10.1 The layout takes into account the constraints of the site which are the differences in ground levels. Whilst the playing field area is generally level, there are significant drops to both the north and south of the site, which restricts development to the playing field and the area where the school buildings have been demolished. This also restricts where vehicular access can be located, as the site is bounded by dwellings to the north, east and west, and it would not be practical from an engineering point of view to create an additional or alternative access to the site from Nottingham Road or Walker Street. The latter would also have an impact on the viability of the adjacent site for development as the majority of that part of the site would be taken up by this access and road. There is currently an outline planning application pending (20/00845/OUT) which was presented to Planning Committee in June 2022. The application was for outline planning permission with all matters reserved for 60 assisted living apartments with access from Walker Street. The application is pending awaiting the signing of a Section 106 Agreement.
- 10.2 No objections have been received from The Highway Authority subject to conditions relating to the surfacing of the driveways/parking areas being in a bound material, traffic calming features and the future maintenance of the shared private driveways. All dwellings will be provided with a dedicated socket for future conversion to an EV charging point and this is highlighted on the submitted layout plan.
- 10.3 In respect of traffic generation, the principle has been established under the outline application and the highway designed accordingly to accommodate the amount of development proposed. There are no highway safety issues relating to this application.

**11. Land Contamination**

- 11.1 As part of the outline planning permission 20/00844/OUT a Phase I Geotechnical Desk Study and Phase II Assessment was submitted. The outline planning permission required details to be submitted of an Intrusive Site Investigation being carried out in accordance with the relevant conditions imposed on the outline planning permission.

**12. Flood Risk**

- 12.1 Although the site is not in Flood Zones 2 or 3, given the topography of the site, the development would need to ensure that it does not result in an increased risk of flooding to the houses that are at a lower ground level than the site. SuDS features are shown on the layout in line with KDR of Policy 6.1. A Flood Risk Assessment and Drainage Strategy (FRA) was submitted as part of the outline planning application which identified and assessed the risks from all forms of flooding to and from the development and demonstrated how these flood risks will be managed.
- 12.2 A condition was attached to the outline planning permission for the submission of a detailed surface water drainage scheme based on the principles set forward by the approved Flood Risk Assessment and Drainage Strategy. It is therefore considered that details will be considered as part of the formal discharge of the relevant condition attached to the outline planning permission 20/00844/OUT.

**13. Biodiversity**

- 13.1 Policy 28 (Green Infrastructure Assets) and Policy 31 (Biodiversity Assets) of the P2LP seek to ensure no significant harm is caused to environmental assets, including protected habitats and species. Both policies share their main evidence base as the Council's Green Infrastructure Strategy. If significant harm is identified, then the P2LP policies require the benefits of the development, such as housing delivery, to clearly outweigh the harm.
- 13.2 The Canyons, which is the wooded area to the south of and outside the application site, is allocated as being a Green Infrastructure Asset (GIA) in the Part 2 Local Plan 2019. The layout plan shows that there are trees to the north of the GIA, which can be read as part of The Canyons, that are to be retained. The PRoW would be maintained to the north-west of the GIA. A detailed landscaping scheme has been submitted which indicates the retention of existing trees and the provision of additional landscaping/planting.
- 13.3 Nottinghamshire Wildlife Trust are generally accepting of the information submitted as part of the application, and the outline planning permission contained conditions to ensure that biodiversity assets are not adversely affected by the development. This includes ensuring construction works are carried out with respect for or harm to the wildlife and to ensure that ecological enhancements are secured.

**14. Developer Contributions**



- 14.1 Developer contributions have been secured by way of a Section 106 Agreement under outline planning permission reference 20/00844/OUT. No further contributions or obligations are sought.

15 Conclusion

- 15.1 The benefits of the proposal are that the development would provide additional affordable housing, in a sustainable location, and which could contribute to the housing targets for the Borough and provide a wide range of size of housing to meet the needs of the community. The design and layout provides a range of dwelling types and styles enhancing the existing environment by providing attractive green spaces and ease of movement for vehicles, pedestrians and cyclists. The proposed layout will not give rise to any significant impacts upon the residential amenity of existing neighbouring properties and will provide adequate amenity spaces both internally and externally for future occupiers. Issues regarding land contamination, flood risk and biodiversity can be dealt with under the relevant conditions attached to the outline planning permission 20/00844/OUT.
- 15.2 On balance, it is considered that any potential concerns would be outweighed by the benefits of the scheme, which is considered to be in accordance with the policies contained within the development plan. This is given significant weight.
- 15.3 It is recommended that planning permission is granted, subject to the conditions set out below and subject to the relevant conditions imposed under outline permission, reference 20/00844/OUT and in line with the previously agreed Section 106 Agreement.

<b><u>Recommendation</u></b>	
<b>The Committee is asked to RESOLVE that planning permission be granted subject to the following conditions.</b>	
<b>1.</b>	<p><b>The development to which this approval relates shall be begun no later than the expiration of 2 years from the final approval of the reserved matters, or in the case of approval on different dates, the final approval of the last such matter to be approved.</b></p> <p><b><i>Reason: To comply with the requirements of Section 92 of the Town and Country Planning Act 1990 as amended.</i></b></p>
<b>2.</b>	<p><b>The development hereby permitted shall be carried out in accordance with drawing(s) numbered:</b></p> <p><b>Site Location Plan – 6200-100;</b></p> <p><b>House Types Floor Plans &amp; Elevations Pack:</b></p> <ul style="list-style-type: none"> <li><b>• Askern End – Planning Sheet – Floor Plans (dwg no. AV22/ASK/0-001 RevB);</b></li> </ul>

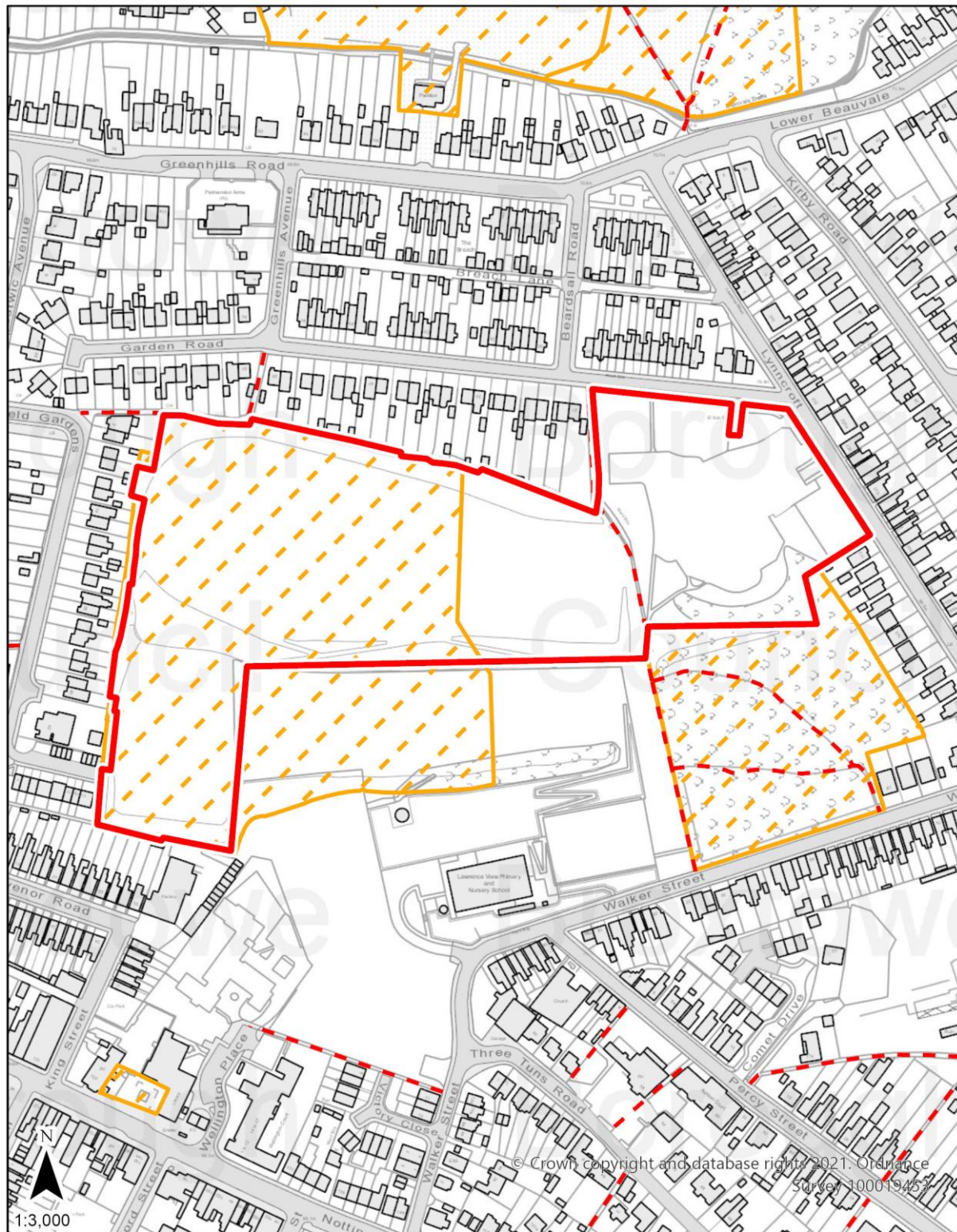
	<ul style="list-style-type: none"> <li>• Askern End – Planning Sheet – Elevations (dwg no. AV22/ASK/0-002 RevB);</li> <li>• Baildon End – Planning Sheet – Floor Plans (dwg no. AV22/BAI/0-001 RevC);</li> <li>• Baildon End – Planning Sheet – Elevations (dwg no. AV22/BAI/0-002 RevC);</li> <li>• Cadeby Det – Planning Sheet – Floor Plans (dwg no. AV22/CAD/0-001 RevB);</li> <li>• Cadeby End – Planning Sheet – Elevations (dwg no. AV22/CAD/0-002 RevB);</li> <li>• Cookridge End – Planning Sheet – Floor Plans (dwg no. AV22/COO/0-001 RevC);</li> <li>• Cookridge – Planning Sheet – Elevations (dwg no. AV22/COO/0-002 RevB);</li> <li>• Denby End – Planning Sheet – Floor Plans (dwg no. AV22/DEN/0-001 RevB);</li> <li>• Denby End – Planning Sheet – Elevations (dwg no. AV22/DEN/0-002 RevB);</li> <li>• Fernlee – Planning Sheet – Floor Plans (dwg. FER/END/0-001 RevC);</li> <li>• Fernlee – Planning Sheet – Elevations (dwg. FER/END/0-002 RevC);</li> <li>• Horbury Det – Planning Sheet – Floor Plans (dwg no. AV22/HOR/0-001 RevC);</li> <li>• Horbury End – Planning Sheet – Elevations (dwg no. AV22/HOR/0-002 RevB);</li> <li>• Leyburn Det – Planning Sheet – Floor Plans (dwg no. AV22/LEY/0-001 RevB);</li> <li>• Leyburn – Planning Sheet – Elevations (dwg no. AV22/LEY/0-002 RevC);</li> <li>• Oakwood Semi – Planning Sheet – Floor Plans (dwg no. AV22/OAK/0-001 RevB);</li> <li>• Oakwood – Planning Sheet – Elevations (dwg no. AV22/OAK/0-002 RevB);</li> <li>• Ripon End – Planning Sheet – Floor Plans (dwg no. AV22/RIP/0-001 RevB);</li> <li>• Ripon – Planning Sheet – Elevations (dwg no. AV22/RIP/0-002 RevB);</li> <li>• Thornton Det – Planning Sheet – Floor Plans (dwg no. AV22/THO/0-001 RevC);</li> <li>• Thornton – Planning Sheet – Elevations (dwg no. AV22/THO/0-002 RevC);</li> </ul>
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	<ul style="list-style-type: none"> <li>• Wentbridge Det – Planning Sheet – Floor Plans (dwg no. AV22/WEN/0-001 RevB);</li> <li>• Wentbridge – Planning Sheet – Elevations (dwg no. AV22/WEN/0-002 RevB);</li> </ul> <p>Single Garage Floor Plan &amp; Elevations (dwg no. 500/001 rev. A);</p> <p>Boundary Treatments – 1.8m High Brick Pier &amp; Panel Wall (dwg no. SD 12-001);</p> <p>Boundary Treatments – 1.2m Post &amp; Rail (dwg no. SD 12-010);</p> <p>Boundary – 1.8m Screen Fence (dwg no. SD 12-025);</p> <p>Arboricultural Impact Assessment, Tree Impact Plan and Tree Constraints Plan.</p> <p>Received by the Local Planning Authority 18 November 2022. Site Sections S200-230;</p> <p>Hedgehog Highway Standard Details SD12-045A;</p> <p>Received by the Local Planning Authority 24 March 2023.</p> <p>Managed Areas Plan 6200-310B;</p> <p>Managed Areas Phasing Plan 620-310_2B;</p> <p>Ecological Enhancement Plan 6200-290B.</p> <p>Received by the Local Planning Authority 19 April 2023.</p> <p>Landscape Masterplan R-2658-1D;</p> <p>Tracking Plan 620 – 295C;</p> <p>Lynncroft POS Levels Layout 6200-203.</p> <p>Received by the Local Planning Authority 31 May 2023.</p> <p>Planning Layout 620-200I;</p> <p>Materials Layout 6200 250C.</p> <p>Received by the Local Planning Authority 14 June 2023.</p> <p><i>Reason: For the avoidance of doubt.</i></p>
3.	No part of the development hereby permitted shall commence until details of the proposed arrangements and plan for future management and maintenance of the shared private drive

	<p>including associated drainage have been submitted to and approved in writing by the Local Planning Authority. The shared private drive and drainage shall thereafter be maintained in accordance with the approved management and maintenance details until such time that a private Management and Maintenance Company has been established.</p> <p><i>Reason: In the interest of highway safety and in accordance with Policy 10 of the Aligned Core Strategy 2014 and Policy 17 of the Part 2 Local Plan 2019.</i></p>
4.	<p>Occupation of the proposed dwellings shall not take place until traffic calming features have been provided in accordance with details first submitted to and approved in writing by the Local Planning Authority.</p> <p><i>Reason: In the interest of highway safety and in accordance with Policy 10 of the Aligned Core Strategy 2014 and Policy 17 of the Part 2 Local Plan 2019.</i></p>
5.	<p>Occupation of the proposed dwellings shall not take place until their respective driveways / shared driveways have been surfaced in a bound material (not loose gravel) for a minimum distance of 5.0 metres behind the highway boundary, and which shall be drained to prevent the discharge of surface water from the driveways to the public highway. The bound material and the provision to prevent the discharge of surface water to the public highway shall be retained for the lifetime of the development.</p> <p><i>Reason: In the interest of highway safety and in accordance with Policy 10 of the Aligned Core Strategy 2014 and Policy 17 of the Part 2 Local Plan 2019.</i></p>
	<b>NOTES TO APPLICANT</b>
1.	The Council has acted positively and proactively in the determination of this application by working to determine it within the agreed determination timescale.
2.	The proposed development lies within a coal mining area which may contain unrecorded coal mining related hazards. If any coal mining feature is encountered during development, this should be reported immediately to the Coal Authority on 0345 762 6848. Further information is also available on the Coal Authority website at: <a href="http://www.gov.uk/government/organisations/the-coal-authority">www.gov.uk/government/organisations/the-coal-authority</a>
3.	As this permission relates to the creation of new units, please contact the Council's Street Naming and Numbering team: <a href="mailto:3015snn@broxtowe.gov.uk">3015snn@broxtowe.gov.uk</a> to ensure addresses are created. This can take several weeks and it is advised to make contact as soon as possible after the development commences. A copy of the

	decision notice, elevations, internal plans and a block plan are required. For larger sites, a detailed site plan of the whole development will also be required.
4.	The associated S106 Agreement and all relevant conditions on the outline permission (20/00844/OUT) must be complied with.
5.	<p>The applicant should note that notwithstanding any planning permission that if any highway forming part of the development is to be adopted by the Highways Authority, the new roads and any highway drainage will be required to comply with the Nottinghamshire County Council's current highway design guidance and specification for roadworks.</p> <p>a) The Advanced Payments Code in the Highways Act 1980 applies and under section 219 of the Act payment will be required from the owner of the land fronting a private street on which a new building is to be erected. The developer should contact the Highway Authority with regard to compliance with the Code, or alternatively to the issue of a Section 38 Agreement and bond under the Highways Act 1980. A Section 38 Agreement can take some time to complete. Therefore, it is recommended that the developer contact the Highway Authority as early as possible.</p> <p>b) It is strongly recommended that the developer contact the Highway Authority at an early stage to clarify the codes etc. with which compliance will be required in the particular circumstance, and it is <u>essential</u> that design calculations and detailed construction drawings for the proposed works are submitted to and approved by the County Council (or District Council) in writing before any work commences on site.</p> <p>Correspondence with the Highway Authority should be addressed to: <a href="mailto:hdc.south@nottsc.gov.uk">hdc.south@nottsc.gov.uk</a></p> <p>Please note, any details submitted in relation to a reserved matters or discharge of condition planning application, are unlikely to be considered by the HA until technical approval of the Section 278-38 Agreement is issued.</p>





Legend

- Site Outline
- Byway open to all traffic
- Bridleway
- Footpath
- Open Spaces



Photographs

**Access point from Lynncroft**



**Neighbouring property on Lynncroft**



**Footpath access point from Walker Street and Garden Road**





Photos from within the site



Rear boundaries of properties located on Garden Road



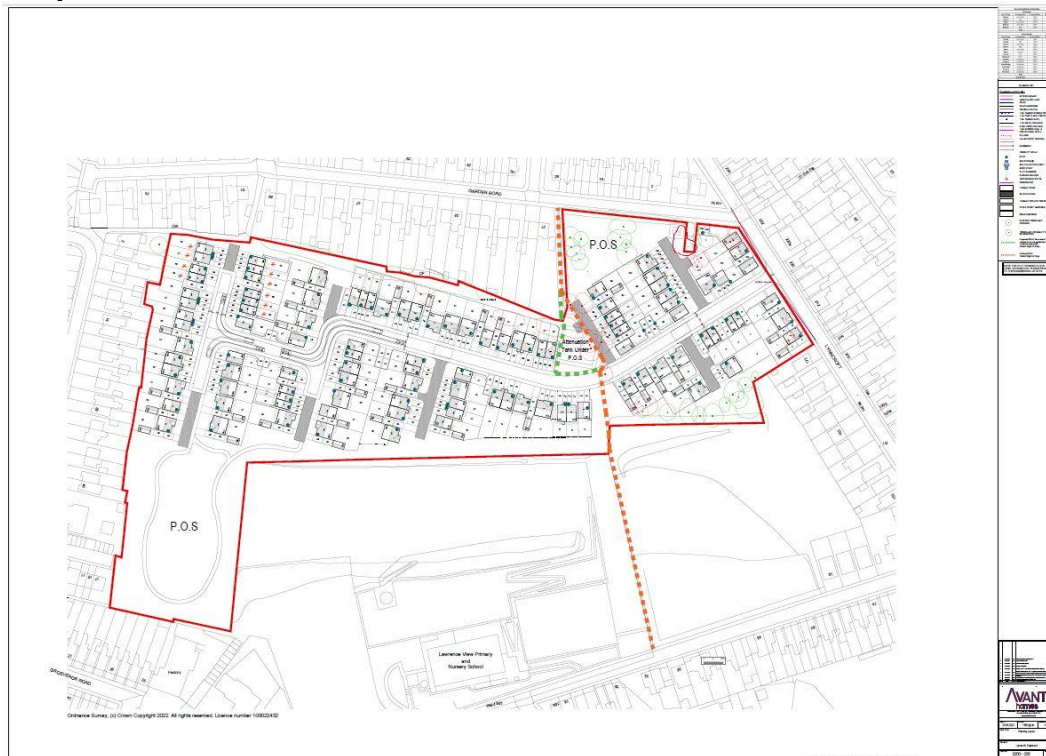


Rear boundaries of properties located on Atherfield Gardens



### Plans (not to scale)

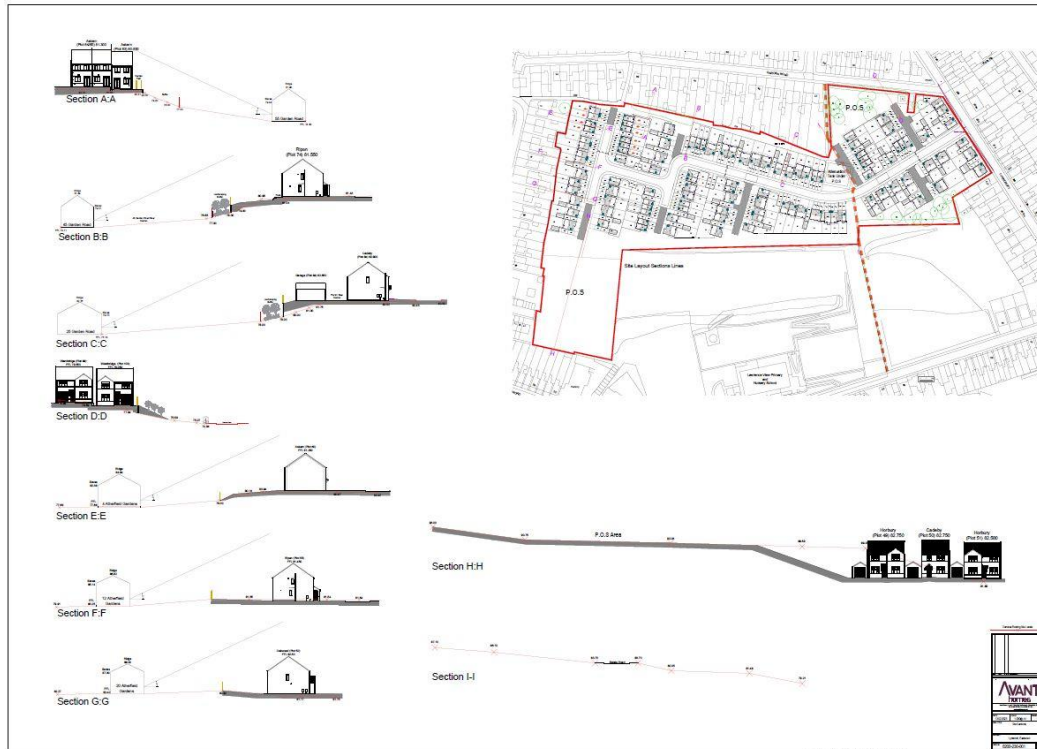
## Proposed Site Plan



# Landscape Masterplan



## Site Sections



## Typical House Types









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## Report of the Chief Executive

<b>APPLICATION NUMBER:</b>	<b>21/00998/FUL</b>
<b>LOCATION:</b>	<b>Greasley Castle Farm, 120 Church Road, Greasley, Nottinghamshire, NG16 2AB</b>
<b>PROPOSAL:</b>	<b>Subdivision of the farmhouse to create tea rooms on ground floor with separate living accommodation above. Repair works to farmhouse roof. Repair and conversion of the traditional barns to create a museum, function rooms and craft workshops. Demolition of existing barn to create parking and servicing areas in association with the development.</b>

The application is brought to the Committee at request of former Councillor M Handley. This request was made prior to the 4 May 2023 election, whilst she was still a member of the Council.

### 1. Purpose of the Report

- 1.1 The application seeks planning permission for the subdivision of the farmhouse to create tea rooms on the ground floor with separate living accommodation above, repair works to farmhouse roof, repair and conversion of the traditional barns to create a museum, function rooms and craft workshops and the demolition of existing barn to create parking and servicing areas in association with the development.

### 2. Recommendation

**The Committee is asked to resolve that planning permission be granted subject to conditions outlined in the appendix.**

### 3. Detail

- 3.1 The application site is within the Nottinghamshire Green Belt, consists of Listed Buildings and an Ancient Monument. The proposal is considered to be an exception to inappropriate development in accordance with paragraph 150(d) of the NPPF, which allows the re-use of buildings provided that the buildings are of permanent and substantial construction; so long as it does not result in additional harm of the openness of the Green Belt.
- 3.2 The existing farmhouse and associated buildings are currently in a poor state of repair and the proposal is considered to bring the buildings back into use along with the provision of repair works to the farmhouse roof which is currently leaking water internally. As part of the proposal, a large farm building will be demolished to provide associated parking provision.
- 3.3 A separate Listed Building application is also pending consideration under reference number 21/00999/LBC.



- 3.4 Overall it is considered that the proposal is in accordance with the policies set out in the Council's Local Plan and the NPPF. It is therefore considered that the proposal is acceptable and that planning permission should be granted in accordance with the recommendations set out in the appendix.

4. Financial Implications

- 4.1 The comments from the Head of Finance Services were as follows:

There are no additional financial implications for the Council with the costs/income being within the normal course of business and contained within existing budgets. Any separate financial issues associated with S106s (or similar legal documents) are covered elsewhere in the report.

5. Legal Implications

- 5.1 The comments from the Head of Legal Services were as follows:

The Legal implications are set out in the report where relevant, a Legal advisor will also be present at the meeting should legal considerations arise.

6. Climate Change Implications

The comments from the Waste and Climate Change Manager were as follows:

No comment.

7 Data Protection Compliance Implications

- 7.1 Due consideration has been given to keeping the planning process as transparent as possible, whilst ensuring that data protection legislation is complied with.

8. Background Papers

Nil.

## APPENDIX

1 Details of the Application

- 1.1 The application seeks planning permission for the subdivision of the farmhouse to create tea rooms on the ground floor with separate living accommodation above, repair works to farmhouse roof, repair and conversion of the traditional barns to create a museum, function rooms and craft workshops and the demolition of an existing barn to create parking and servicing areas in association with the development.

2 Site and surroundings

- 2.1 To the north west of the application site is the Parish Church of St Mary which is a Grade II Listed Building. Directly to the front, side and rear there are open fields. The fishponds are included within the Greasley Castle Farm Scheduled Monument, which is believed to be the site of the deserted Medieval village of Greasley.

3 Relevant Planning History

- 3.1 Listed Building Consent was granted under reference number 07/00436/LBC to construct a porch and repairs to the dwelling.
- 3.2 Listed Building consent was granted to erect a porch to the rear, removal of the garden walls and internal alterations under reference number 09/00581/LBC.
- 3.3 Planning permission was granted under reference number 09/00582/FUL to construct a porch to the rear of the dwelling.
- 3.4 Planning permission was granted under reference number 17/00490/FUL to demolish a single agricultural building on site along with the construction of three agricultural buildings at Beauvale Manor Farm.

4 Relevant Policies and Guidance4.1 **Greater Nottingham Aligned Core Strategies Part 1 Local Plan 2014:**

- 4.1.1 The Council adopted the Core Strategy (CS) on 17 September 2014.

- Policy A: Presumption in Favour of Sustainable Development
- Policy 2: The Spatial Strategy
- Policy 10: Design and Enhancing Local Identity
- Policy 11: Historic Environment

## 4.2 Part 2 Local Plan 2019:

### 4.2.1 The Council adopted the Part 2 Local Plan on 16 October 2019.

- Policy 17: Place-making, Design and Amenity
- Policy 23: Proposals affecting Designated and Non-Designated Heritage Assets

## 4.3 National Planning Policy Framework (NPPF) 2019:

- Section 2 – Achieving Sustainable Development.
- Section 4 – Decision-making.
- Section 12 – Achieving well-designed places.
- Section 13 – Protecting Green Belt land.
- Section 16 – Conserving and Enhancing the historic environment.

## 5 Consultations

5.1 **Council's Conservation Officer:** No objections, strongly supports the proposal to create a commercial presence at Greasley Castle which is justified on the basis of the poor condition of the outbuildings and the need to find a viable new use.

5.2 **Council's Environmental Health Officer:** No objections subject to conditions.

5.3 **Historic England:** No objections to the application on heritage grounds, consider the applications meets the requirements of the NPPF.

5.4 **The Highway Authority:** No objections.

5.5 **Nottinghamshire Wildlife Trust:** No objections

5.6 As part of the consultations, the **6 Amenity Bodies** were consulted on the application due to the nature of farmhouse and outbuildings being listed. One response was received from the **Georgian Society** raising no objections and were in support of the proposal.

5.7 Seven properties either adjoining or opposite the site were consulted and a site notice was displayed. No responses were received.

## 6 Assessment

6.1 The main issues for consideration relate to whether the principle of the proposed change of use of the farmhouse to create tea rooms on the ground floor with separate living accommodation above, repair works to farmhouse roof, repair and conversion of the traditional barns to create a museum, function rooms and craft workshops and the demolition of existing barn to create parking and servicing areas in association with the development is acceptable in the Green Belt and the impact upon the Grade II Listed Buildings.

## 6.2 Principle

- 6.2.1 The re-use of the buildings, which are located within the Green Belt, is considered appropriate development providing the buildings are worthy of retention and capable of conversion without major or complete reconstruction and would not harm the open character of the Green Belt. In this case, with the buildings being listed they are clearly worthy of retention and the main farmhouse is capable of conversion to the proposed tea rooms with residential accommodation above and the farm buildings to accommodate craft workshops, function room and a museum without major reconstruction. This has been demonstrated by the submission of a full structural survey and method statement. The proposal will also promote the diversification of the rural economy by re-using the existing barn buildings and converting the ground floor of the farmhouse to tea rooms. It is considered that the principle of development is acceptable, however this is subject to consideration of the design of the proposal and the impact on the Green Belt, Heritage, the amenity of neighbouring properties and highway safety.

## 6.3 Design, Heritage and Green Belt

- 6.3.1 Greasley Castle is a Scheduled Monument and is a relatively well-preserved and important example of a fortified house. All the standing remains of the castle are incorporated into the present farm buildings. The standing, buried and earthwork remains retain important archaeological and environmental information. The fishponds, the moat and the bank and ditch defining the larger enclosure, are particularly conducive to the accumulation and preservation of artefactual, environmental and ecofactual material and may retain important waterlogged deposits. The importance of the site is increased by the survival of spatially associated features. Taken as a whole, Greasley Castle contributes greatly to the knowledge and understanding of fortified houses and their position in the medieval and post-medieval landscape. Although Greasley Castle Farmhouse is within the scheduled area it is a grade II listed building and is specifically excluded from the Scheduled Monument. The remains of Greasley Castle is grade II listed and the font, 15 metres south of Greasley Castle Farmhouse, is also grade II.
- 6.3.2 Whilst there are scheduled ancient monuments (SAM) within the site curtilage, including the fish ponds within Greasley Castle Farm, it is clarified there will be no works that will harm the SAM and it will not be used as an attenuation pond. A detailed schedule of works has been submitted outlining the works to be carried out to both the farmhouse and the outbuildings. A separate application for scheduled monument consent will be required to cover the majority of the works proposed beyond those to the grade II listed farmhouse itself.
- 6.3.3 In terms of alterations to the Grade II listed farmhouse, the only repairs to the externals of the building are the repair works to the roof. The covering to the main roof is in very poor condition and requires replacing in its entirety in the short term. There is evidence of localised water ingress to all 4no. chimney stacks, with this being severe to the north-west stack. The north-east stack flashing will be addressed as an urgent repair to prevent further fabric decay. Structural timbers in this area around the north-east stack may be decayed. The roof structure is

predominantly formed in machine cut softwood aside from isolated oak purlins. Trusses and purlins appear in good and substantial condition, as do rafters. Internal alterations are proposed to create the tea rooms at ground floor and the residential accommodation at the upper floors.

- 6.3.4 The alterations to the barns are very limited in order to accommodate the proposed uses and are easily reversible should the proposed uses cease. In addition to the proposed general repairs, the function rooms and museum would maintain the open aspect of the barns with only two openings being blocked up along with a new partition wall and door serving the kitchen. Workshop 4 would see some new internal openings to allow circulation and use as a single unit. Workshop 3 would see the removal of internal walls to create an open plan space, which would not harm the buildings historical significance. Workshop 1 and 2 will see the loss of a wall and the introduction of a new partition to create two practical units, again having no historical significance. The barns are vacant and are not considered suitable for modern agricultural practices whilst also in need of repair. The proposed uses will open the barns to the public whilst providing a viable use to enable their repair.
- 6.3.5 In terms of other alterations, an existing outbuilding is to be repaired along with a new roof to create a bin/bike store, with the provision of parking spaces with the existing farm yard. Modern additions to the buildings are also proposed to be demolished including a large barn, an open sided covered area and a small extension.
- 6.3.6 No objections have been received from either Historic England or the Georgian Society. The Council's Conservation Advisor supports the proposal to create a commercial presence at Greasley Castle which is justified on the basis of the poor condition of the outbuildings and the need to find a viable new use. A condition is recommended requiring details of the methodology for intrusive investigations to the above ground building fabric, all repair works to existing building fabric including proposed materials to be used, methodology for identifying any below ground remains that may be impacted by the proposals, final drainage and landscaping proposals, detailed window and door designs and written and a Photographic Historic Building record being made of the site prior to conversion, with the same deposited within an archive, and to Level agreed with the Local Planning Authority.
- 6.3.7 To conclude, the proposal to create a commercial presence at Greasley Castle is justified on the basis of the poor condition of the farmhouse and outbuildings and the need to find a viable new use. It is not considered the proposal will have a negative impact on the significance of the Heritage asset or any negative impact upon the openness of the Green Belt.

#### 6.4 **Amenity**

- 6.4.1 Due to the remote location of the site and there being no immediate neighbouring properties, it is not considered the proposal will give rise to any significant issues upon residential amenity. A condition is recommended for the hours of operation of the tea rooms, function room, museum and workshops.

## 6.5 Access

- 6.5.1 The remote location of the site is such that access to/from it by sustainable modes of travel is unlikely, particularly in the absence of a continuous footway to the nearest bus-stop some 235m away. Public transport use/walking could be encouraged by providing a new section of footway along the site frontage to join the existing infrastructure. There are also existing public rights of way adjacent the site which will serve the site.
- 6.5.2 Vehicle access to the farmhouse will be via an existing access point located off Church Road which has historically served the farmhouse and barns. This access will be utilised by occupiers of the residential element of the farmhouse which is being retained. Two parking spaces have been provided to serve the farmhouse. The tea rooms and commercial uses within the converted barns will be accessed by a driveway to the south. A total of 63 parking spaces have been identified within the site including 4 disabled spaces, with an overflow car park also being provided. Cycle spaces are also proposed alongside a delivery bay, with access to the surrounding agricultural fields being maintained.
- 6.5.3 A TRICS analysis has been undertaken to determine the likely demand based on vehicular trip rates. Table 4.2 of the Transport Statement identifies a maximum parking demand for 30 spaces with 64 spaces being made available within the site. An additional area of land is being offered for over-spill parking. The Highway Authority raise no objections to the proposal subject to conditions relating to the width of the driveway access, driveway surfacing and parking spaces. There are no highway safety issues relating to this proposal.

## 7. Planning Balance

- 7.1 On balance, the proposal to create a commercial presence at Greasley Castle is justified on the basis of the poor condition of the farmhouse and outbuildings and the need to find a viable new use. It is not considered the proposal will have a negative impact on the significance of the Heritage asset or any negative impact upon the openness of the Green Belt, and on balance therefore, it is considered the scheme is acceptable.

## 8. Conclusion

- 8.1 Having regard to all material considerations, the proposal is considered to bring the buildings back into use along with the provision of repair works to the farmhouse roof which is currently leaking water internally. Therefore, the proposal is considered to be in accordance with the relevant local and national policy guidance and there are no material considerations which would warrant a decision being taken at variance to this.

<b><u>Recommendation</u></b>	
The Committee is asked to <b>RESOLVE</b> that planning permission be granted subject to the following conditions.	
1.	<p>The development hereby permitted shall be commenced before the expiration of three years beginning with the date of this permission.</p> <p><i>Reason: To comply with S91 of the Town and Country Planning Act 1990 as amended by S51 of the Planning and Compulsory Purchase Act 2004.</i></p>
2.	<p>The development hereby permitted shall be carried out in accordance with Site Location Plan 1:1250, Proposed Outbuilding Plans, 121627/008C, Proposed Outbuilding Elevations, 121627/008C, Proposed Bike and Bin Store Plans and Elevations, 121627/0011A, Toilet Block, 126223/BR/012A received by the Local Planning Authority 06. 12.2021, Proposed House Elevations, Proposed Block Plan, 126223 PL/104B and Floor Plans, 121627/007F and Proposed internal arrangement and Swept Path Analysis, 20000570-003 received by the Local Planning Authority 21.03.2022.</p> <p><i>Reason: For the avoidance of doubt.</i></p>
3.	<p>No building operations shall be carried out until details of the following:</p> <ul style="list-style-type: none"> <li>• Methodology for intrusive investigations to above ground building fabric;</li> <li>• All repair works to existing building fabric, including proposed materials to be used;</li> <li>• Methodology for identifying any below ground remains that may be impacted by the proposals;</li> <li>• Final drainage and landscaping proposals;</li> <li>• Detailed window and door designs;</li> <li>• Written and Photographic Historic Building record is made of the site prior to conversion, with the same deposited within an archive, and to Level agreed with the Local Planning Authority.</li> </ul> <p>have been submitted to and approved in writing by the Local Planning Authority, and the development shall be constructed only in accordance with those details.</p> <p><i>Reason: No such details were submitted and to ensure the development presents a satisfactory standard of external appearance, in accordance with the aims of Policy 10 of the Aligned Core Strategy (2014), Policy 11 and Policy 17 of the Part 2 Local Plan (2019).</i></p>



4.	<p>No excavations for services, storage of materials or machinery, parking of vehicles, deposit or excavation of soil or rubble, or disposal of liquids shall take place within or directly adjacent to Greasley Cemetery LWS. Furthermore, no fires should be lit within 5m of the LWS, and the lighting strategy must be designed so that it does not spill over onto the LWS.</p> <p><i>Reason: To ensure that the development contributes positively to the Borough's ecological network and in accordance with the aims of Policy 31 of the Broxtowe Part 2 Local Plan (2019) and the NPPF.</i></p>
5.	<p>All excavations shall be covered overnight or else have an escape ramp to prevent entrapment of badgers, hedgehogs, and other wildlife. All pipework greater than 150 mm should be capped off at the end of the day and chemicals should be stored securely.</p> <p><i>Reason: To ensure that the development contributes positively to the Borough's ecological network and in accordance with the aims of Policy 31 of the Broxtowe Part 2 Local Plan (2019) and the NPPF.</i></p>
6.	<p>No stripping, demolition works, or vegetation clearance shall take place between 1st March and 31st August inclusive, unless preceded by a nesting bird survey undertaken by an experienced ecologist. If nesting birds are present, an appropriate exclusion zone will be implemented and monitored until the chicks have fledged. No works shall be undertaken within exclusion zones whilst nesting birds are present.</p> <p><i>Reason: To ensure that the development contributes positively to the Borough's ecological network and in accordance with the aims of Policy 31 of the Broxtowe Part 2 Local Plan (2019) and the NPPF.</i></p>
7.	<p>Prior to works commencing a Biodiversity Enhancement Plan shall be submitted to and approved in writing by the Local Planning Authority to achieve a net gain in biodiversity in accordance with the NPPF 2019. Such approved measures shall be implemented in full and maintained thereafter with photographs of the measures in situ submitted to the Local Planning Authority for confirmation. Measures shall include, but are not limited to:</p> <ul style="list-style-type: none"> <li>• Native wildlife planting (trees, berry rich shrubs, wildflower/grasslands,</li> <li>• Future management of retained trees and hedges,</li> <li>• Maintenance of 'dark habitat' areas and sympathetic lighting,</li> <li>• Details of integrated bat boxes will be clearly shown on a plan (positions/specification/numbers),</li> <li>• Details of bird boxes (including swift boxes) will be clearly shown on a plan (positions/specification/numbers),</li> </ul>

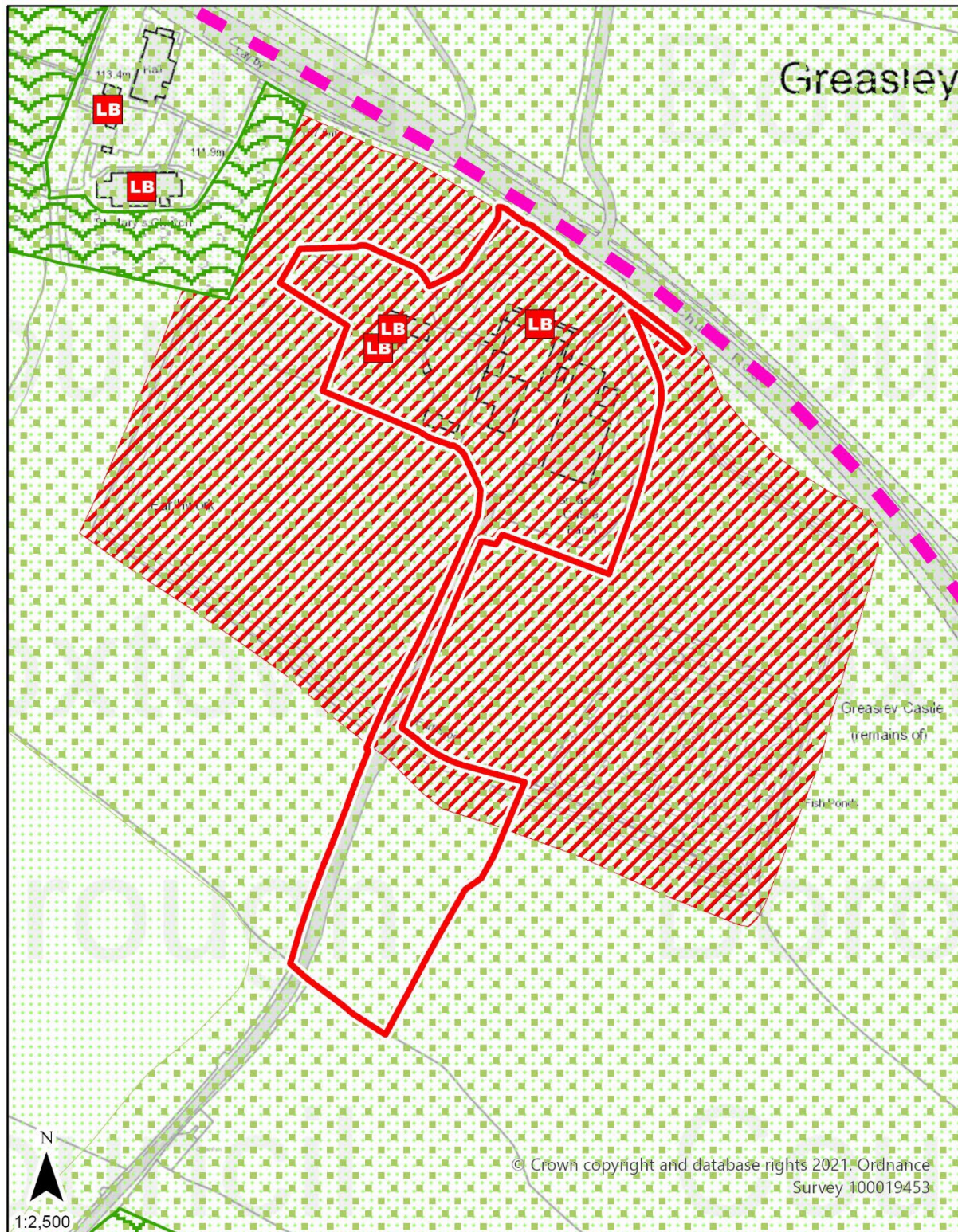
	<ul style="list-style-type: none"> <li>Measures to maintain connectivity for hedgehogs shall be clearly shown on a plan (fencing gaps 130mm x 130mm and/or railings and/or hedgerows,</li> </ul> <p><i>Reason: To ensure that the development contributes positively to the Borough's ecological network and in accordance with the aims of Policy 31 of the Broxtowe Part 2 Local Plan (2019) and the NPPF.</i></p>
8.	<p>a) No part of the development hereby approved shall be commenced until an investigative survey of the site has been carried out and a report submitted to and approved in writing by the Local Planning Authority. The survey must have regard for any potential ground and water contamination, the potential for gas emissions and any associated risk to the public, buildings and/or the environment. The report shall include details of any necessary remedial measures to be taken to address any contamination or other identified problems.</p> <p>b) No building to be erected pursuant to this permission shall be occupied or brought into use until:-</p> <p>(i) All necessary remedial measures have been completed in accordance with details approved in writing by the local planning authority; and</p> <p>(ii) It has been certified to the satisfaction of the local planning authority that necessary remedial measures have been implemented in full and that they have rendered the site free from risk to human health from the contaminants identified.</p> <p><i>Reason: In the interest of public health and safety, in accordance with the aims of Policy 10 of the Aligned Core Strategy (2014), and Policy 17 of the Part 2 Local Plan (2019).</i></p>
	<p>No development within the full planning permission phase hereby approved shall take place until a Construction / Demolition Method Statement has been submitted to and approved in writing by the Borough Council. The statement shall include:</p> <p>a) The means of access for construction traffic;</p> <p>b) parking provision for site operatives and visitors;</p> <p>c) the loading and unloading of plant and materials;</p> <p>d) the storage of plant and materials used in construction demolition the development;</p> <p>e) a scheme for the recycling/disposal of waste resulting from construction / demolition works; and</p> <p>f) details of dust and noise suppression to be used during the construction phase.</p> <p>g) a scheme for the identification and safe removal of asbestos containing material</p> <p>The approved statement shall be adhered to throughout the construction period.</p>

	<b><i>Reason: In the interest of public health and safety, in accordance with the aims of Policy 10 of the Aligned Core Strategy (2014), and Policy 17 of the Part 2 Local Plan (2019).</i></b>
10.	<p>Suitable ventilation and filtration equipment shall be installed to suppress and disperse odour created from food preparation operations on the premises. The equipment shall be effectively operated and maintained in accordance with manufacturer's instructions for as long as the proposed use continues. Details of the equipment shall be submitted to and approved by the Local Planning Authority prior to the commencement of the development. Equipment shall be installed and in full working order to the satisfaction of the Local Planning Authority prior to the commencement of use.</p> <p><b><i>Reason: To protect nearby occupiers from excessive odour, in accordance with the aims of Policy 10 of the Aligned Core Strategy (2014), and Policy 17 of the Part 2 Local Plan (2019).</i></b></p>
11.	<p>The proposed development shall not be brought into use until the visibility splays shown on drawing 2000570-002 Rev A have been provided. The area within the south-eastern splay shall thereafter be kept clear of all obstructions, structures or erections exceeding 0.26 metres in height.</p> <p><b><i>Reason: In the interest of highway safety, in accordance with the aims of Policy 10 of the Aligned Core Strategy (2014), and Policy 17 of the Part 2 Local Plan (2019).</i></b></p>
12.	<p>The proposed development shall not be brought into use until the parking, turning, and servicing areas as shown on drawing 2000570-003 Rev D have been provided. The parking, turning and servicing areas shall be maintained in accordance with the approved details, and shall not be used for any purpose other than the parking, turning, and loading/unloading of vehicles.</p> <p><b><i>Reason: In the interest of highway safety, in accordance with the aims of Policy 10 of the Aligned Core Strategy (2014), and Policy 17 of the Part 2 Local Plan (2019).</i></b></p>
13.	<p>The proposed development shall not be brought into use until the footway improvement works as shown indicatively on drawing 2000570-003 Rev D have been provided.</p> <p><b><i>Reason: To promote sustainable travel, in the interest of highway safety, in accordance with the aims of Policy 10 of the Aligned Core Strategy (2014), and Policy 17 of the Part 2 Local Plan (2019).</i></b></p>
14.	The proposed development shall not be brought into use until the site access has been surfaced in a bound material (not loose

	<p>gravel) for a minimum distance of 5m behind the highway boundary, and which shall be constructed with provision to prevent the discharge of surface water from the access to the public highway. The bound material and the provision to prevent the discharge of surface water to the public highway shall be retained for the lifetime of the development.</p> <p><i>Reason: In the interest of highway safety, in accordance with the aims of Policy 10 of the Aligned Core Strategy (2014), and Policy 17 of the Part 2 Local Plan (2019).</i></p>
15.	<p>The premises shall not be used except between 08.30 – 22.00 hours Sunday to Thursday and 08.30-23.00 hours Friday to Saturday without the prior agreement in writing of the Local Planning Authority.</p> <p><i>Reason: To protect nearby residents from excessive operational noise, in accordance with the aims of Policy 10 of the Aligned Core Strategy (2014), and Policy 17 of the Part 2 Local Plan (2019).</i></p>
	<b>NOTES TO APPLICANT</b>
1.	The Council has acted positively and proactively in the determination of this application by working to determine it within the determination timescale.
2.	<p>The proposed development lies within an area that has been defined by the Coal Authority as containing coal mining features at surface or shallow depth. These features may include: mine entries (shafts and adits); shallow coal workings; geological features (fissures and break lines); mine gas and former surface mining sites. Although such features are seldom readily visible, they can often be present and problems can occur, particularly as a result of new development taking place.</p> <p>Any form of development over or within the influencing distance of a mine entry can be dangerous and raises significant land stability and public safety risks. As a general precautionary principle, the Coal Authority considers that the building over or within the influencing distance of a mine entry should be avoided. In exceptional circumstance where this is unavoidable, expert advice must be sought to ensure that a suitable engineering design which takes into account all the relevant safety and environmental risk factors, including mine gas and mine-water. Your attention is drawn to the Coal Authority Policy in relation to new development and mine entries available at:  <a href="http://www.gov.uk/government/publications/building-on-or-within-the-influencing-distance-of-mine-entries">www.gov.uk/government/publications/building-on-or-within-the-influencing-distance-of-mine-entries</a></p> <p>Any intrusive activities which disturb or enter any coal seams, coal mine workings or coal mine entries (shafts and adits) requires a Coal Authority Permit. Such activities could include site</p>

	<p>investigation boreholes, excavations for foundations, piling activities, other ground works and any subsequent treatment of coal mine workings and coal mine entries for ground stability purposes. Failure to obtain a Coal Authority Permit for such activities is trespass, with the potential for court action.</p> <p>If any coal mining features are unexpectedly encountered during development, this should be reported immediately to the Coal Authority on 0345 762 6848. Further information is available on the Coal Authority website at:  <a href="http://www.gov.uk/government/organisations/the-coal-authority">www.gov.uk/government/organisations/the-coal-authority</a></p>
3.	<p>Burning of commercial waste is a prosecutable offence. It also causes unnecessary nuisance to those in the locality. All waste should be removed by an appropriately licensed carrier.</p>
4.	<p>The applicant is advised to contact the Environmental Health department on 0115 9173485 to ensure the internal Kitchen layout and toilet provisions comply with current guidance for Food and Health and Safety regulations for the proposed activities. You can register your food business 28 days prior to opening at  <a href="https://register.food.gov.uk/new/broxtowe">https://register.food.gov.uk/new/broxtowe</a></p>
5.	<p>The applicant is advised to contact the Licensing department on 0115 9173485 to ensure the activity complies with current guidance for Licensing regulations for the proposed activities.</p>
6.	<p>As this permission relates to the creation of new units, please contact the Council's Street Naming and Numbering team: <a href="mailto:3015snn@broxtowe.gov.uk">3015snn@broxtowe.gov.uk</a> to ensure addresses are created. This can take several weeks and it is advised to make contact as soon as possible after the development commences. A copy of the decision notice, elevations, internal plans and a block plan are required. For larger sites, a detailed site plan of the whole development will also be required.</p>
7.	<p>In order to carry out the off-site works required you will be undertaking work in the public highway which is land subject to the provisions of the Highways Act 1980 (as amended) and therefore land over which you have no control. In order to undertake the works you will need to enter into an agreement under Section 278 of the Act. Please contact <a href="mailto:hdc.south@nottsc.gov.uk">hdc.south@nottsc.gov.uk</a> for details.</p>





Legend

- |                     |                            |
|---------------------|----------------------------|
| Site Outline        | Mature Landscape Area      |
| Listed Building     | Scheduled Ancient Monument |
| Classified Road     | Green Belt                 |
| Local Wildlife Site |                            |



**Photographs**

**Views of Farmhouse and outbuildings from Church Road**



**Rear of Farmhouse**



**Outbuildings to be converted**

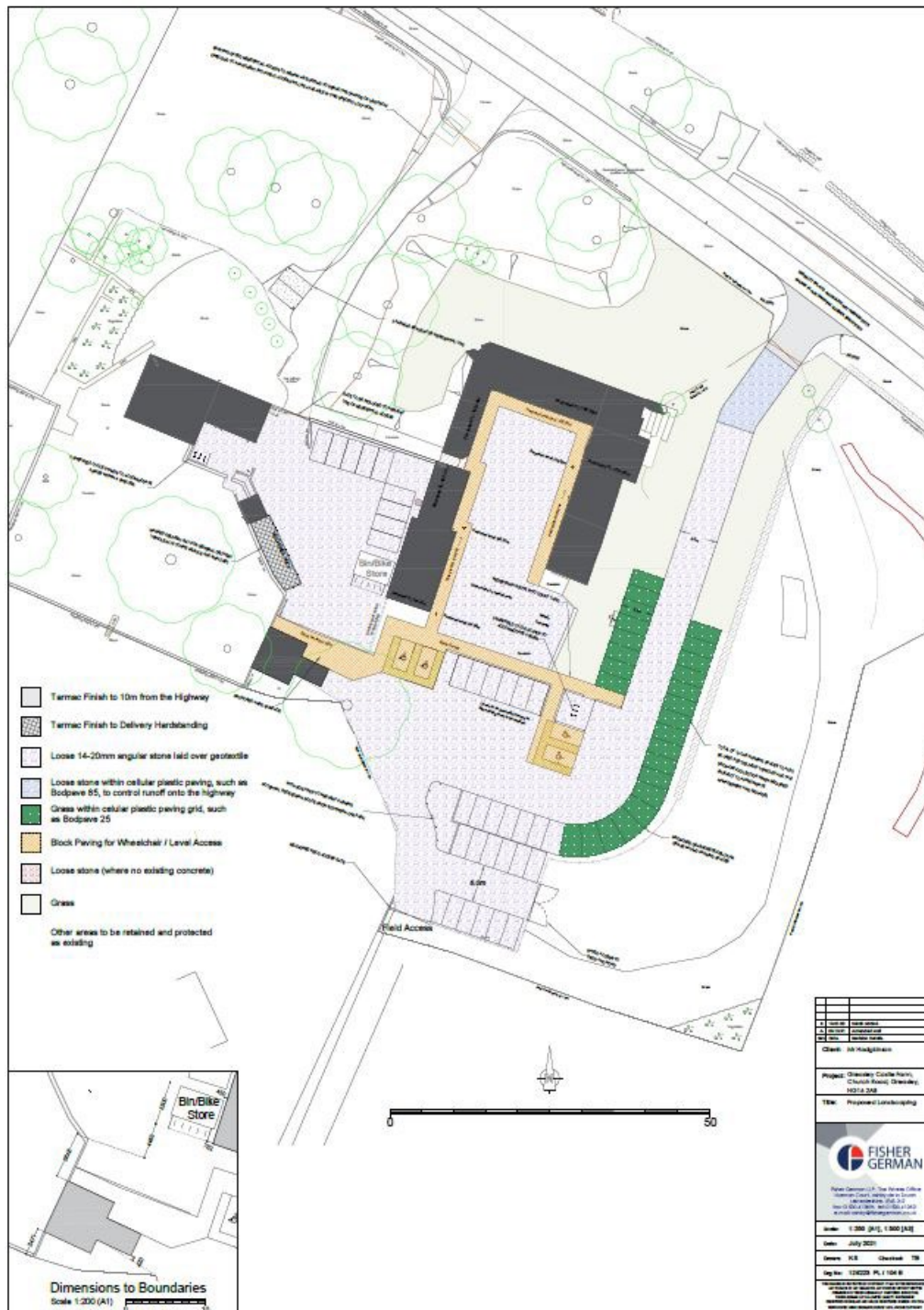




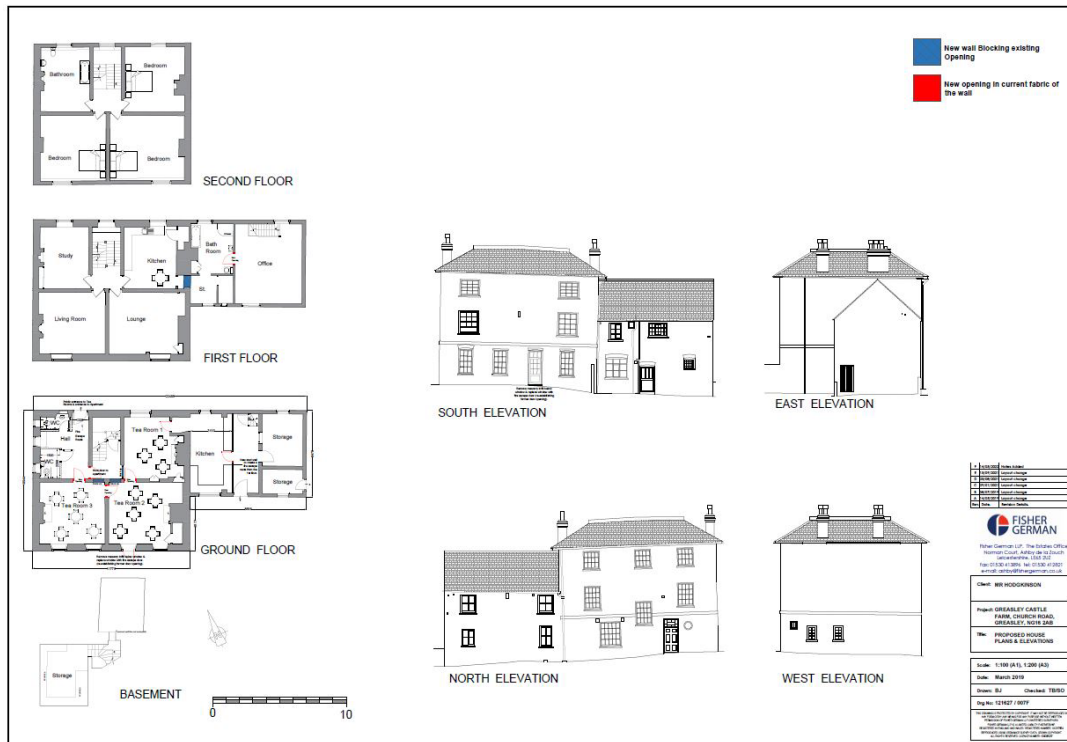


Plans (not to scale)

**Block Plan**



## Farmhouse Elevations and Floorplans



## Outbuilding Elevations



[illegible]

**EAST ELEVATION**

**NORTH ELEVATION**

**WEST ELEVATION**

**SOUTH ELEVATION**

**Bin Store**

**Bike Store**

0 5

North Arrow

**FISHER GERMAN**

Fisher German LLP, The Brixley Office  
Hampden Court, Aubrey de la Roche  
Salisbury, Wiltshire, SP2 8JG  
Tel: 01202 444444 Fax: 01202 444444  
Email: info@fishergerman.co.uk

**Client:** Mr Hodgkinson

**Project:** Greasley Castle Farm,  
Church Road, Greasley,  
NG16 2JG

**File:** Proposed New Bike  
and Bin Store Plans and  
Elevations

**Scale:** 1:100 @ A4

**Date:** April 2019

**Drawn:** BJ **Checked:** TB/SO

**Dwg No:** 121027011A

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## Report of the Chief Executive

<b>APPLICATION NUMBER:</b>	<b>21/00999/LBC</b>
<b>LOCATION:</b>	<b>Greasley Castle Farm, 120 Church Road, Greasley, Nottinghamshire, NG16 2AB</b>
<b>PROPOSAL:</b>	<b>Subdivision of the farmhouse to create tea rooms on ground floor with separate living accommodation above. Repair works to farmhouse roof. Repair and conversion of the traditional barns to create a museum, function rooms and craft workshops. Demolition of existing barn to create parking and servicing areas in association with the development.</b>

The application is brought to the Committee at request of former Councillor M Handley. This request was made prior to the 4 May 2023 election, whilst she was still a member of the Council.

### 1. Purpose of the Report

- 1.1 The application seeks listed building consent for the subdivision of the farmhouse to create tea rooms on the ground floor with separate living accommodation above, repair works to farmhouse roof, repair and conversion of the traditional barns to create a museum, function rooms and craft workshops and the demolition of existing barn to create parking and servicing areas in association with the development.

### 2. Recommendation

**The Committee is asked to resolve that listed building consent be granted subject to conditions outlined in the appendix.**

### 3. Detail

- 3.1 The application site is within the Nottinghamshire Green Belt, consists of Listed Buildings and an Ancient Monument. The proposal is considered to be an exception to inappropriate development in accordance with paragraph 150(d) of the NPPF, which allows the re-use of buildings provided that the buildings are of permanent and substantial construction; so long as it does not result in additional harm of the openness of the Green Belt.
- 3.2 The existing farmhouse and associated buildings are currently in a poor state of repair and the proposal is considered to bring the buildings back into use along with the provision of repair works to the farmhouse roof which is currently leaking water internally. As part of the proposal, the large farm building will be demolished to provide associated parking provision.
- 3.3 A separate full planning application is also pending consideration under reference number 21/00998/FUL.

- 3.4 Overall it is considered that the proposal is in accordance with the policies set out in the Council's Local Plan and the NPPF. It is therefore considered that the proposal is acceptable and that listed building consent should be granted in accordance with the recommendations set out in the appendix.

4. Financial Implications

- 4.1 The comments from the Head of Finance Services were as follows:  
There are no additional financial implications for the Council with the costs/income being within the normal course of business and contained within existing budgets. Any separate financial issues associated with S106s (or similar legal documents) are covered elsewhere in the report.

5. Legal Implications

- 5.1 The comments from the Head of Legal Services were as follows: The Legal implications are set out in the report where relevant, a Legal advisor will also be present at the meeting should legal considerations arise.

6. Climate Change Implications

The comments from the Waste and Climate Change Manager were as follows:

No comment.

7 Data Protection Compliance Implications

- 7.1 Due consideration has been given to keeping the planning process as transparent as possible, whilst ensuring that data protection legislation is complied with.

8. Background Papers

Nil.

## APPENDIX

1 Details of the Application

- 1.1 The application seeks listed building consent for the subdivision of the farmhouse to create tea rooms on the ground floor with separate living accommodation above, repair works to farmhouse roof, repair and conversion of the traditional barns to create a museum, function rooms and craft workshops and the demolition of an existing barn to create parking and servicing areas in association with the development.

2 Site and surroundings

- 2.1 To the north west of the application site is the Parish Church of St Mary which is a Grade II Listed Building. Directly to the front, side and rear there are open fields. The fishponds are included within the Greasley Castle Farm Scheduled Monument, which is believed to be the site of the deserted Medieval village of Greasley.

3 Relevant Planning History

- 3.1 Listed Building Consent was granted under reference number 07/00436/LBC to construct a porch and repairs to the dwelling.
- 3.2 Listed Building consent was granted to erect a porch to the rear, removal of the garden walls and internal alterations under reference number 09/00581/LBC.
- 3.3 Planning permission was granted under reference number 09/00582/FUL to construct a porch to the rear of the dwelling.
- 3.4 Planning permission was granted under reference number 17/00490/FUL to demolish a single agricultural building on site along with the construction of three agricultural buildings at Beauvale Manor Farm.

4 Relevant Policies and Guidance4.1 **Greater Nottingham Aligned Core Strategies Part 1 Local Plan 2014:**

- 4.1.1 The Council adopted the Core Strategy (CS) on 17 September 2014.

- Policy A: Presumption in Favour of Sustainable Development
- Policy 2: The Spatial Strategy
- Policy 10: Design and Enhancing Local Identity
- Policy 11: Historic Environment

## 4.2 Part 2 Local Plan 2019:

### 4.2.1 The Council adopted the Part 2 Local Plan on 16 October 2019.

- Policy 17: Place-making, Design and Amenity
- Policy 23: Proposals affecting Designated and Non-Designated Heritage Assets

## 4.3 National Planning Policy Framework (NPPF) 2019:

- Section 2 – Achieving Sustainable Development.
- Section 4 – Decision-making.
- Section 12 – Achieving well-designed places.
- Section 13 – Protecting Green Belt land.
- Section 16 – Conserving and Enhancing the historic environment.

## 5 Consultations

5.1 **Council's Conservation Officer:** No objections, strongly supports the proposal to create a commercial presence at Greasley Castle which is justified on the basis of the poor condition of the outbuildings and the need to find a viable new use.

5.2 **Council's Environmental Health Officer:** No objections subject to conditions.

5.3 **Historic England:** No objections to the application on heritage grounds, consider the applications meets the requirements of the NPPF.

5.4 **The Highway Authority:** No objections.

5.5 **Nottinghamshire Wildlife Trust:** No objections

5.6 As part of the consultations, the **6 Amenity Bodies** were consulted on the application due to the nature of farmhouse and outbuildings being listed. One response was received from the **Georgian Society** raising no objections and were in support of the proposal.

5.7 Seven properties either adjoining or opposite the site were consulted and a site notice was displayed. No responses were received.

## 6 Assessment

6.1 The main issues for consideration relate to whether the principle of the proposed change of use of the farmhouse to create tea rooms on the ground floor with separate living accommodation above, repair works to farmhouse roof, repair and conversion of the traditional barns to create a museum, function rooms and craft workshops and the demolition of existing barn to create parking and servicing areas in association with the development is acceptable in the Green Belt and the impact upon the Grade II Listed Buildings.

## 6.2 Principle

- 6.2.1 The re-use of the buildings which are located within the Green Belt is considered appropriate development providing the buildings are worthy of retention and capable of conversion without major or complete reconstruction and would not harm the open character of the Green Belt. In this case, with the buildings being listed they are clearly worthy of retention and the main farmhouse is capable of conversion to the proposed tea rooms with residential accommodation above and the farm buildings to accommodate craft workshops, function room and a museum without major reconstruction. This has been demonstrated by the submission of a full structural survey and method statement. The proposal will also promote the diversification of the rural economy by re-using the existing barn buildings and converting the ground floor of the farmhouse to tea rooms. It is considered that the principle of development is acceptable, however this is subject to consideration of the design of the proposal and the impact on the Green Belt, Heritage, the amenity of neighbouring properties and highway safety.

## 6.3 Design, Heritage and Green Belt

- 6.3.1 Greasley Castle is a Scheduled Monument and is a relatively well-preserved and important example of a fortified house. All the standing remains of the castle are incorporated into the present farm buildings. The standing, buried and earthwork remains retain important archaeological and environmental information. The fishponds, the moat and the bank and ditch defining the larger enclosure, are particularly conducive to the accumulation and preservation of artefactual, environmental and ecofactual material and may retain important waterlogged deposits. The importance of the site is increased by the survival of spatially associated features. Taken as a whole, Greasley Castle contributes greatly to the knowledge and understanding of fortified houses and their position in the medieval and post-medieval landscape. Although Greasley Castle Farmhouse is within the scheduled area it is a grade II listed building and is specifically excluded from the Scheduled Monument. The remains of Greasley Castle is grade II listed and the font, 15 metres south of Greasley Castle Farmhouse, is also grade II.
- 6.3.2 Whilst there are scheduled ancient monuments (SAM) within the site curtilage, including the fish ponds within Greasley Castle Farm, it is clarified there will be no works that will harm the SAM and it will not be used as an attenuation pond. A detailed schedule of works has been submitted outlining the works to be carried out to both the farmhouse and the outbuildings. A separate application for scheduled monument consent will be required to cover the majority of the works proposed beyond those to the grade II listed farmhouse itself.
- 6.3.3 In terms of alterations to the Grade II listed farmhouse, the only repairs to the externals of the building are the repair works to the roof. The covering to the main roof is in very poor condition and requires replacing in its entirety in the short term. There is evidence of localised water ingress to all 4no. chimney stacks, with this being severe to the north-west stack. The north-east stack flashing will be addressed as an urgent repair to prevent further fabric decay. Structural timbers in this area around the north-east stack may be decayed. The roof structure is predominantly formed in machine cut softwood aside from isolated oak purlins.

Trusses and purlins appear in good and substantial condition, as do rafters. Internal alterations are proposed to create the tea rooms at ground floor and the residential accommodation at the upper floors.

- 6.3.4 The alterations to the barns are very limited in order to accommodate the proposed uses and are easily reversible should the proposed uses cease. In addition to the proposed general repairs, the function rooms and museum would maintain the open aspect of the barns with only two openings being blocked up along with a new partition wall and door serving the kitchen. Workshop 4 would see some new internal openings to allow circulation and use as a single unit. Workshop 3 would see the removal of internal walls to create an open plan space, which would not harm the buildings historical significance. Workshop 1 and 2 will see the loss of a wall and the introduction of a new partition to create two practical units, again having no historical significance. The barns are vacant and are not considered suitable for modern agricultural practices whilst also in need of repair. The proposed uses will open the barns to the public whilst providing a viable use to enable their repair.
- 6.3.5 In terms of other alterations, an existing outbuilding is to be repaired along with a new roof to create a bin/bike store, with the provision of parking spaces with the existing farm yard. Modern additions to the buildings are also proposed to be demolished including a large barn, an open sided covered area and a small extension.
- 6.3.6 No objections have been received from either Historic England or the Georgian Society. The Council's Conservation Advisor supports the proposal to create a commercial presence at Greasley Castle which is justified on the basis of the poor condition of the outbuildings and the need to find a viable new use. A condition is recommended requiring details of the methodology for intrusive investigations to the above ground building fabric, all repair works to existing building fabric including proposed materials to be used, methodology for identifying any below ground remains that may be impacted by the proposals, final drainage and landscaping proposals, detailed window and door designs and written and a Photographic Historic Building record being made of the site prior to conversion, with the same deposited within an archive, and to Level agreed with the Local Planning Authority.
- 6.3.7 To conclude, the proposal to create a commercial presence at Greasley Castle is justified on the basis of the poor condition of the farmhouse and outbuildings and the need to find a viable new use. It is not considered the proposal will have a negative impact on the significance of the Heritage asset or any negative impact upon the openness of the Green Belt.

#### 6.4 **Amenity**

- 6.4.1 Due to the remote location of the site and their being no immediate neighbouring properties, it is not considered the proposal will give rise to any significant issues upon residential amenity. A condition is recommended for the hours of operation of the tea rooms, function room, museum and workshops.



## 6.5 Access

- 6.5.1 The remote location of the site is such that access to/from it by sustainable modes of travel is unlikely, particularly in the absence of a continuous footway to the nearest bus-stop some 235m away. Public transport use/walking could be encouraged by providing a new section of footway along the site frontage to join the existing infrastructure. There are also existing public rights of way adjacent the site which will serve the site.
- 6.5.2 Vehicle access to the farmhouse will be via an existing access point located off Church Road which has historically served the farmhouse and barns. This access will be utilised by occupiers of the residential element of the farmhouse which is being retained. Two parking spaces have been provided to serve the farmhouse. The tea rooms and commercial uses within the converted barns will be accessed by a driveway to the south. A total of 63 parking spaces have been identified within the site including 4 disabled spaces, with an overflow car park also being provided. Cycle spaces are also proposed alongside a delivery bay, with access to the surrounding agricultural fields being maintained.
- 6.5.3 A TRICS analysis has been undertaken to determine the likely demand based on vehicular trip rates. Table 4.2 of the Transport Statement identifies a maximum parking demand for 30 spaces with 64 spaces being made available within the site. An additional area of land is being offered for over-spill parking. The Highway Authority raise no objections to the proposal subject to conditions relating to the width of the driveway access, driveway surfacing and parking spaces. There are no highway safety issues relating to this proposal.

## 7. Planning Balance

- 7.1 On balance, the proposal to create a commercial presence at Greasley Castle is justified on the basis of the poor condition of the farmhouse and outbuildings and the need to find a viable new use. It is not considered the proposal will have a negative impact on the significance of the Heritage asset or any negative impact upon the openness of the Green Belt, and on balance therefore, it is considered the scheme is acceptable.

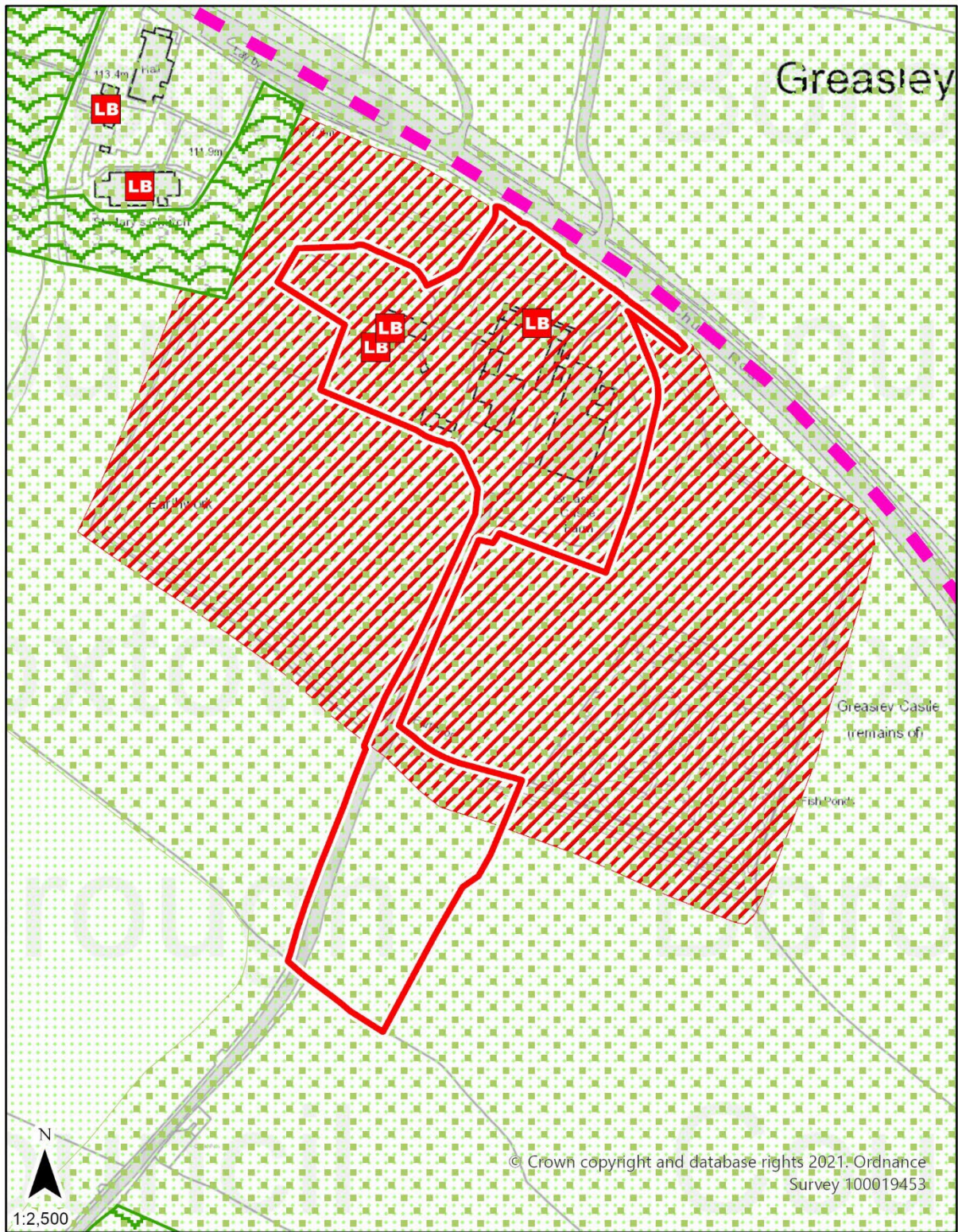
## 8. Conclusion

- 8.1 Having regard to all material considerations, the proposal is considered to bring the buildings back into use along with the provision of repair works to the farmhouse roof which is currently leaking water internally. Therefore, the proposal is considered to be in accordance with the relevant local and national policy guidance and there are no material considerations which would warrant a decision being taken at variance to this.

<b><u>Recommendation</u></b>	
The Committee is asked to RESOLVE that listed building be granted subject to the following conditions.	
1.	<p>The development hereby permitted shall be commenced before the expiration of three years beginning with the date of this permission.</p> <p><i>Reason: To comply with S91 of the Town and Country Planning Act 1990 as amended by S51 of the Planning and Compulsory Purchase Act 2004.</i></p>
2.	<p>The development hereby permitted shall be carried out in accordance with Proposed Outbuilding Plans, 121627/008C, Proposed Outbuilding Elevations, 121627/008C, Proposed Bike and Bin Store Plans and Elevations, 121627/0011A, Toilet Block, 126223/BR/012A received by the Local Planning Authority 06.12.2021, Proposed House Elevations, Proposed Block Plan, 126223 PL/104B and Floor Plans, 121627/007F and Proposed internal arrangement and Swept Path Analysis, 20000570-003 received by the Local Planning Authority 21.03.2022.</p> <p><i>Reason: For the avoidance of doubt.</i></p>
3.	<p>No building operations shall be carried out until details of the following:</p> <ul style="list-style-type: none"> <li>• Methodology for intrusive investigations to above ground building fabric;</li> <li>• All repair works to existing building fabric, including proposed materials to be used;</li> <li>• Methodology for identifying any below ground remains that may be impacted by the proposals;</li> <li>• Final drainage and landscaping proposals;</li> <li>• Detailed window and door designs;</li> <li>• Written and Photographic Historic Building record is made of the site prior to conversion, with the same deposited within an archive, and to Level agreed with the Local Planning Authority</li> </ul> <p>have been submitted to and approved in writing by the Local Planning Authority, and the development shall be constructed only in accordance with those details.</p> <p><i>Reason: No such details were submitted and to ensure the development presents a satisfactory standard of external appearance, in accordance with the aims of Policy 10 of the Aligned Core Strategy (2014), Policy 11 and Policy 17 of the Part 2 Local Plan (2019).</i></p>

	<b>NOTES TO APPLICANT</b>
<b>1.</b>	<b>The Council has acted positively and proactively in the determination of this application by working to determine it within the determination timescale.</b>





Legend

- Site Outline
- Listed Building
- Classified Road
- Local Wildlife Site
- Mature Landscape Area
- Scheduled Ancient Monument
- Green Belt



**Photographs**

**Views of Farmhouse and outbuildings from Church Road**



**Rear of Farmhouse**

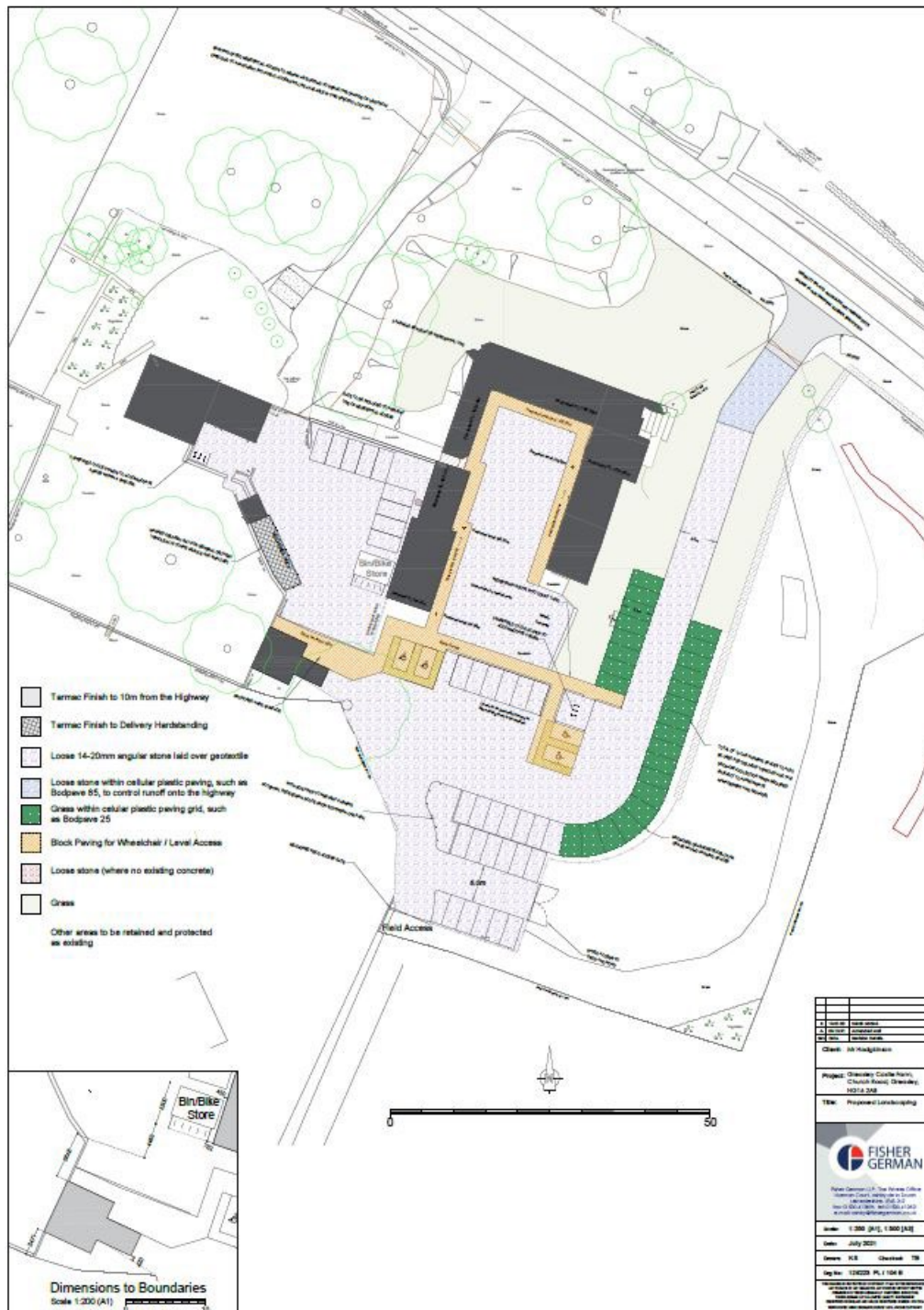


**Outbuildings to be converted**

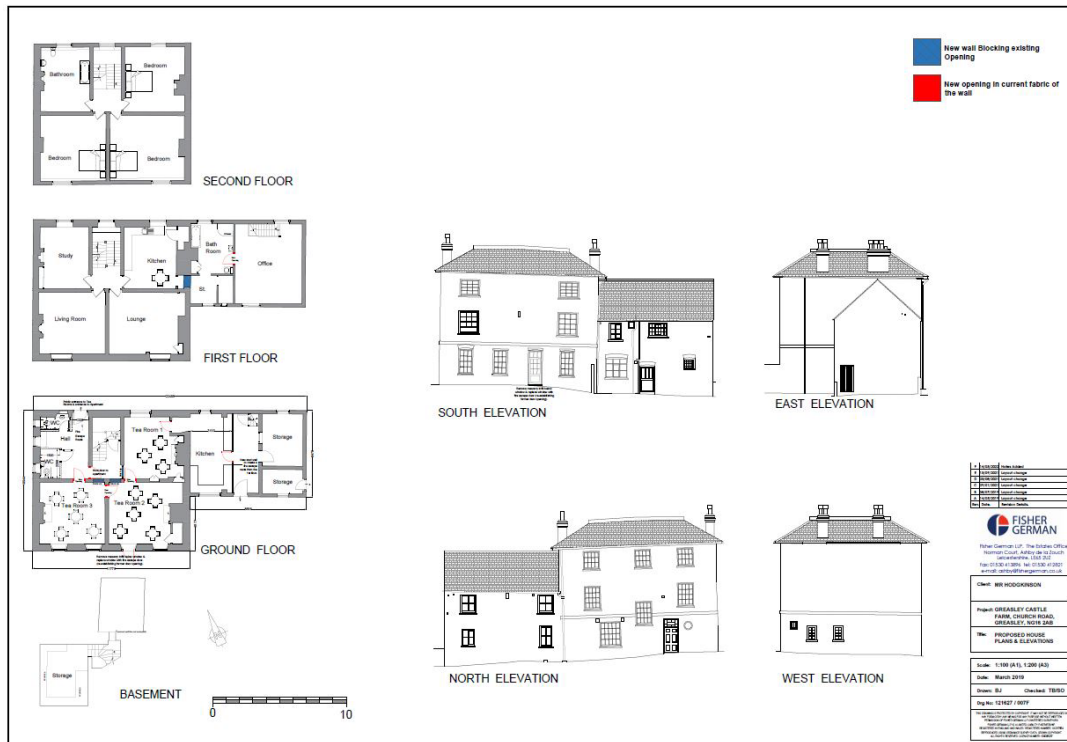






**Plans (not to scale)****Block Plan**

## Farmhouse Elevations and Floorplans



## Outbuilding Elevations



The floor plan illustrates the layout of the Gremlin by Cable building, including a large central hall, various rooms (Kitchen, Living Room, Bedroom, Bathroom, Storage), and a central staircase. The plan uses color-coding to distinguish between new wall blocking (blue) and new openings in the current fabric (red). A north arrow and a scale bar (0 to 10 meters) are provided. The plan also shows the building's footprint relative to the surrounding site, including parking areas and adjacent structures.

**Legend:**

- New wall Blocking existing Opening
- New opening in current fabric of the wall

**Room Labels:** Kitchen, Living Room, Bedroom, Bathroom, Storage, Unit 4, Unit 3, Unit 2, Unit 1, Unit 0, Unit -1, Unit -2, Unit -3, Unit -4, Unit -5, Unit -6, Unit -7, Unit -8, Unit -9, Unit -10, Unit -11, Unit -12, Unit -13, Unit -14, Unit -15, Unit -16, Unit -17, Unit -18, Unit -19, Unit -20, Unit -21, Unit -22, Unit -23, Unit -24, Unit -25, Unit -26, Unit -27, Unit -28, Unit -29, Unit -30, Unit -31, Unit -32, Unit -33, Unit -34, Unit -35, Unit -36, Unit -37, Unit -38, Unit -39, Unit -40, Unit -41, Unit -42, Unit -43, Unit -44, Unit -45, Unit -46, Unit -47, Unit -48, Unit -49, Unit -50, Unit -51, Unit -52, Unit -53, Unit -54, Unit -55, Unit -56, Unit -57, Unit -58, Unit -59, Unit -60, Unit -61, Unit -62, Unit -63, Unit -64, Unit -65, Unit -66, Unit -67, Unit -68, Unit -69, Unit -70, Unit -71, Unit -72, Unit -73, Unit -74, Unit -75, Unit -76, Unit -77, Unit -78, Unit -79, Unit -80, Unit -81, Unit -82, Unit -83, Unit -84, Unit -85, Unit -86, Unit -87, Unit -88, Unit -89, Unit -90, 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**EAST ELEVATION**

**NORTH ELEVATION**

**WEST ELEVATION**

**SOUTH ELEVATION**

**Bin Store**

**Bike Store**

0 5

North Arrow

**FISHER GERMAN**

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**Client:** Mr Hodgkinson

**Project:** Greasley Castle Farm,  
Church Road, Greasley,  
NG16 2JL

**File:** Proposed New Bike  
and Bin Store Plans and  
Elevations

**Scale:** 1:100 @ A4

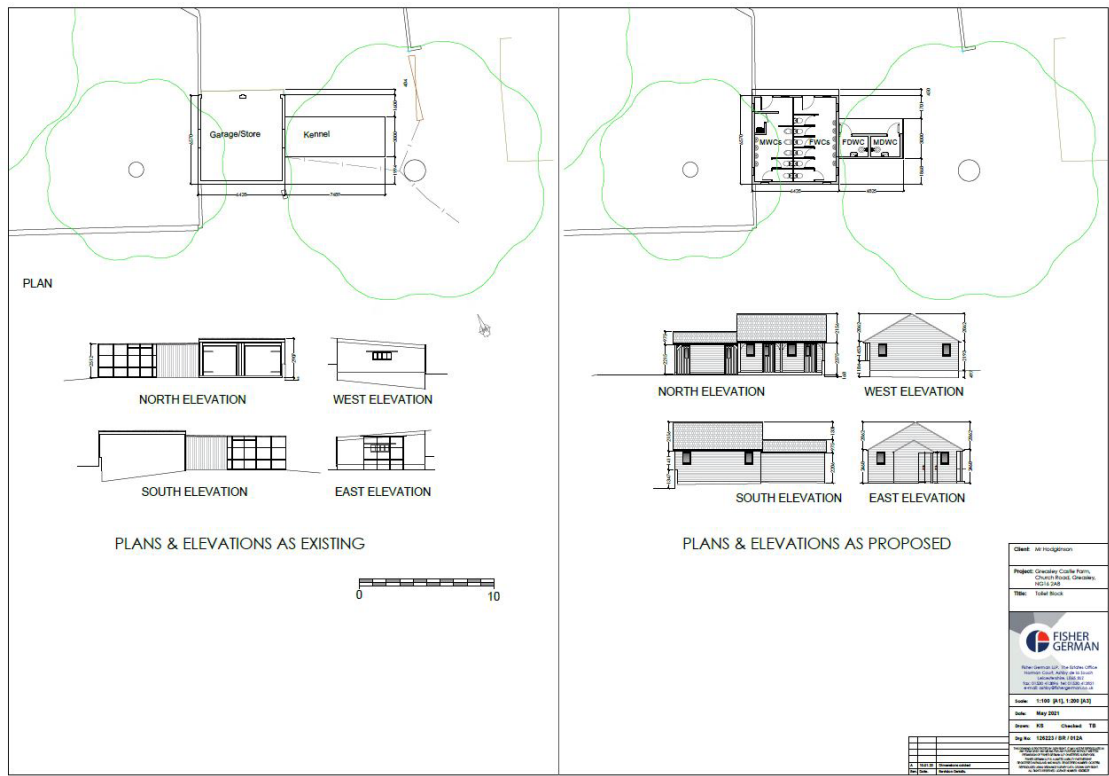
**Date:** April 2019

**Drawn:** BJ **Checked:** TB/SO

**Eng No:** 121627811A

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Toilet Block



## Report of the Chief Executive

<b>APPLICATION NUMBER:</b>	<b>23/00293/FUL</b>
<b>LOCATION:</b>	<b>3 Willoughby Street, Beeston, NG9 2LT</b>
<b>PROPOSAL:</b>	<b>Change of use from Use Class C3 to an HMO within Use Class C4</b>

The application is brought to the Committee at request of Councillor V C Smith.

### 1. Purpose of the Report

The application seeks planning consent at the property 3 Willoughby Street, Beeston for a change of use from a dwellinghouse (Use Class C3) to a House of Multiple Occupation (Use Class C4).

### 2. Recommendation

**The Committee is asked to resolve that planning permission be granted subject to conditions outlined in the appendix.**

### 3. Executive Summary

3.1. The application site consists of a two storey semi-detached dwelling, which is adjoined to adjacent neighbouring property 5 Willoughby Street, which is a mirror image of 3 Willoughby Street. There is a rear garden located north-east of the dwelling, whilst there are two adjacent roads Willoughby Street located south of the application site and Portland Street located west of the application site. The application site is located within the Beeston Article 4 Area.

3.2. The main issues relate to whether the proposed change of use from a dwellinghouse (Use Class C3) to an HMO (Use Class C4) complies with the Policy 8 of the Aligned Core Strategy (2014), Policy 15 of the Broxtowe Local Plan Part 2 (2019) and the Houses in Multiple Occupation Supplementary Planning Document (SPD) (2022). Considerations in regard to design, neighbour and occupier amenity and the impact upon access (highway safety) impact will also be assessed as part of the report.

3.3. The Committee is asked to resolve that planning consent be granted subject to the conditions outlined in the appendix.

### 4. Financial Implications

4.1. There are no additional financial implications for the Council with the costs/income being within the normal course of business and contained within existing budgets. Any separate financial issues associated with Section 106s (or similar legal documents) are covered elsewhere in the report.

5.     Legal Implications

- 5.1.   The comments from the Head of Legal Services were as follows: The Legal implications are set out in the report where relevant, a Legal advisor will also be present at the meeting should legal considerations arise.

6.     Data Protection Compliance Implications

- 6.1.   Due consideration has been given to keeping the planning process as transparent as possible, whilst ensuring that data protection legislation is complied with.

7.     Background Papers

- 7.1.   Nil.



## APPENDIX

1. Details of the application

- 1.1 The application proposes to change the use of 3 Willoughby Street, Beeston from a dwellinghouse (Use Class C3) to an HMO (Use Class C4).
- 1.2 There are no external changes to the dwelling as part of the application, with the internal changes including constructing a partition wall to create a hallway leading from the front door to the stairs and the rear of the house, which will also allow for the conversion of the existing ground floor lounge into a third bedroom, hence creating a proposed 3-bedroom HMO.
- 1.3 When the site visit was undertaken on 13 July 2023, the proposed internal changes had not been completed and no tenants were present at the property.

2. Site and surroundings

- 2.1 The application site consists of a two storey semi-detached dwelling, which is adjoined to adjacent neighbouring property 5 Willoughby Street, which is a mirror image of 3 Willoughby Street. There is a rear garden located north-east of the dwelling, whilst there are two adjacent roads Willoughby Street located south of the application site and Portland Street located west of the application site. The application site is located within the Beeston Article 4 Area.

3. Relevant Planning History

- 3.1 No relevant planning history post 1974.

4. Relevant Policies and Guidance4.1 **Broxtowe Aligned Core Strategy 2014:**

The Council adopted the Core Strategy (CS) on 17 September 2014.

- Policy 8: Housing Size, Mix and Choice
- Policy 10: Design and Enhancing Local Identity

4.2 **Part 2 Local Plan 2019**

The Council adopted the Part 2 Local Plan on 16 October 2019.

- Policy 15: Housing Size, Mix and Choice
- Policy 17: Place-making, Design and Amenity

**4.3 National Planning Policy Framework (NPPF) 2021**

- Section 2: Achieving sustainable development
- Section 5 Delivering a sufficient supply of homes
- Section 11: Making effective use of land
- Section 12: Achieving well designed places.

**4.4 Supplementary Planning Document (SPD) Houses in Multiple Occupation adopted 19 July 2022.****5. Consultations**

5.1 Seven neighbouring properties have been consulted on the application, with the consultation period expiring on 3 June 2023.

5.2 There have been two responses received, with the first response raising no objections to the development proposal. The second response objected to the proposal on the grounds that another family home is being turned into a HMO – there is a need for family homes not more HMOs.

5.3 Councillor G Bunn was consulted on the application with no comments received. Councillor Vanessa Smith was also consulted on the application and requested for the application to be determined by the Planning Committee.

5.4 **Nottinghamshire Police** were consulted on the application and stated in their response they have no holding objections with regards to this application. Nottinghamshire Police have also provided comments in regards to Houses of Multiple Occupation being at a higher risk of crime and it is recommended security measures should be contained therein. A Note to Applicant including these comments will be added to any subsequent decision notice.

5.5 **Private Sector Housing** were consulted on the application and stated in their response that on the assumption that each bedroom will only be occupied by one person, bedroom sizes and communal space sizes appear suitable and the property would not need an HMO licence under the Housing Act 2004 Part 2. Private Sector Housing requested a copy of the Broxtowe HMO Property Standards be provided to the applicant.

5.6 Private Sector Housing have also recommended measures in respect of fire safety and a Note to Applicant including these measures will be added to any subsequent decision notice.

**6. Assessment**

6.1 The main issues relate to whether the proposed change of use from a dwellinghouse (Use Class C3) to an HMO (Use Class C4) complies with the Policy 8 of the Aligned Core Strategy (2014), Policy 15 of the Broxtowe Local Plan Part 2 (2019) and the Houses in Multiple Occupation Supplementary

Planning Document (SPD) (2022). Considerations in regard to design, neighbour and occupier amenity and the impact upon access (highway safety) impact will also be assessed as part of the report.

### Policy

- 6.2 Policy 8 of the ACS states in paragraph 4 that the appropriate mix of house size, type, tenure and density within housing development will be informed by:
- c) local demographic context and trends;
  - d) local evidence of housing need and demand;
  - e) the need to redress the housing mix within areas of concentration of student households and Houses in Multiple Occupation;
  - f) area character, site specific issues

Paragraph 3.8.7 states that the number of full-time students attending Universities in the area has increased considerably in recent years. The process of change brought about by increased numbers of student households and Houses in Multiple Occupation (HMOs) has altered the residential profile of some neighbourhoods dramatically, and has led to unsustainable communities and associated amenity issues.

Policy 15 of the P2LP states in Section 6 that developments should provide an appropriate mix of house size, type, tenure and density to ensure that the needs of the residents of all parts of the Borough.

On 26 March 2022 an Article 4 Direction came into force within the Beeston area of Broxtowe Borough removing the permitted development right that allows a change of use from a dwellinghouse to a 'small HMO' for use by up to 6 individuals (Class C3 to Class C4).

- 6.3 The HMO SPD aims to provide guidance when an application is determined, 'to manage the development of HMOs and their impact on character and appearance in addition to ensuring that they provide a high standard of living for existing and prospective residents and be in accordance with paragraph 3.8.8 of Policy 8's emphasis of 'creating and maintaining sustainable, inclusive and mixed communities'. As such, the document has identified several ways to prevent over-concentration of HMOs within Article 4's area. The document advises that proposal for the development of HMO should not be granted planning permission where the development would result in:
- 'clustering' more than three consecutive known HMOs in the same street or more than two consecutive HMOs positioned opposite to two more known consecutive HMO properties
  - Radius approach: measured in a straight line distance: the total number of known HMOs exceeding 20% to the total number of properties within a 100m radius of the application site

- ‘sandwiching’: a standard dwelling being positioned in-between two known HMO either adjacently to, or to the front and rear.

The document also highlights the importance of the following aspects: living space and proposed layout, implementation of sound reduction measures, safe access and adequate parking, cycle storage and bin storage and waste.

- 6.4 According to the information available from the Beeston Article 4 Map (figure 2), if 3 Willoughby Street Beeston was granted planning permission this would not result in clustering as there are not more than three known consecutive HMOs on the same street or adjoining street and there is not more than two known consecutive HMOs positioned opposite to two or more known consecutive HMO properties. Furthermore, according to the information available from the Beeston Article 4 Map (figure 1), there are 165 dwellings within 100m radius of the site, with 23 known HMOs. The percentage of HMOs within the area is 13.9%. Therefore, the total number of known HMOs will not exceed the permitted 20% relative to the total number of properties within a 100m radius of the application site.
- 6.5 In addition to this, if 3 Willoughby Street was granted planning permission this would not result in ‘sandwiching’. This is because if 3 Willoughby Street was granted planning permission this would not result in a standard dwelling being positioned in-between two known houses in multiple occupancy either adjacently or to the front and rear.
- 6.6 Therefore, in line with the SPD, it is considered the proposal for a change of use into a three-bedroom HMO would be acceptable and comply with the SPD.
- 6.7 The reason for this derives from Policy 8 of the ACS which states that the increased numbers of student households and Houses in Multiple Occupations (HMOs) has altered the residential profile of some neighbourhoods dramatically, and has led to unsuitable communities and amenity issues. It is also considered that an overconcentration of HMOs would upset the balance of the area in terms of character as well as having potential negative impacts upon amenity/neighbours and parking.
- 6.8 The proposal is to change the use of the property 3 Willoughby Street, Beeston from a dwellinghouse (Class C3) to a 3-bedroom HMO (Class C4) within the Town Centre of Beeston. The principle of the change of use is acceptable and will add to the mix of housing stock within Beeston which is in line with Policy 8 of the ACS and Policy 15 of the P2LP and will not detract from the overall character of the area subject to amenity, access and other material planning considerations.

**Design**

- 6.9 There are no proposals for alterations to the building externally, therefore it is considered there are no design issues to consider externally.

**Neighbour and Occupier Amenity**

- 6.10 Policy 10 (f) states that the impact of a development on neighbour amenity will be a consideration. Policy 17 of P2LP states development should ensure a satisfactory degree of amenity for occupiers of the new development and neighbouring properties.
- 6.11 It is considered the internal residential layout provides an acceptable standard of living, with acceptable bedroom space, communal lounge/kitchen and bathroom facilities. Each room has an outlook and natural light/ventilation. Private Sector Housing have stated that on the assumption that each bedroom will only be occupied by one person, bedroom sizes and communal space sizes appear suitable and the property would not need an HMO licence under the Housing Act 2004 Part 2. Therefore, it is considered if the fire safety precautions are implemented (measures included as a Note to Applicant) the amenity of the occupiers will be acceptable.
- 6.12 It is considered the proposed change of use from dwellinghouse (Use Class C3) to a 3-bedroom HMO (Use Class C4) is unlikely to significantly impact upon the amenity of the adjacent neighbouring properties and surrounding area.

**Access (Highway Safety)**

- 6.13 There is some-on street parking allowed on Willoughby Street and Portland Street. The applicant has provided a parking plan showing there are two parking spaces proposed to be located in the rear garden of the application site. There is an existing wall which would have to be demolished to allow access into the rear garden for the two proposed parking spaces and a subsequent dropped kerb application would likely have to be submitted to the Local Highways Authority.
- 6.14 However, it is considered due to the location of 3 Willoughby Street in the centre of Beeston it is unlikely there will be a large demand for vehicle ownership. This is because there is a large number of facilities available on the adjacent High Road, Beeston and the property is close enough to the University Campus for residents to walk, cycle or use public transport. The existing dwelling is a two-bedroom dwellinghouse with the proposal to add an additional bedroom to create a three-bedroom HMO, therefore it is considered unlikely there will be significant increase in vehicles which would result in a harmful impact upon the highway safety of the site and of the adjacent neighbouring properties.
- 6.15 To conclude, it is considered the proposed impact in terms of highway safety would likely be acceptable. However, if the two parking places are proposed to

be placed in the rear garden of the application site this would be subject to approval from the Local Highway Authority.

7. Conclusion

- 7.1. It is concluded that, having regard to the relevant policies of the Local Plan, NPPF and to all other material considerations including the Public Sector Equality and comments received in the representations, the development is acceptable and that there are no circumstances which otherwise would justify the refusal of permission.

<b><u>Recommendation</u></b>	
<b>The Committee is asked to RESOLVE that planning permission be granted subject to the following conditions.</b>	
<b>1.</b>	<p><b>The development hereby permitted shall be commenced before the expiration of three years beginning with the date of this permission.</b></p> <p><b>Reason: To comply with S91 of the Town and Country Planning Act 1990 as amended by S51 of the Planning and Compulsory Purchase Act 2004.</b></p>
<b>2.</b>	<p><b>The development hereby permitted shall be carried out in accordance with the plans</b></p> <p><b>Received by the Local Planning Authority on 14 April 2023:</b></p> <ul style="list-style-type: none"> <li><b>• Site Location Plan (1:500 on A4)</b></li> </ul> <p><b>Received by the Local Planning Authority on 4 May 2023:</b></p> <ul style="list-style-type: none"> <li><b>• Proposed Floor Plans (Scale 1:100 @ A3)</b></li> </ul> <p><b><i>Reason: For the avoidance of doubt.</i></b></p>
	<b>NOTES TO APPLICANT</b>
<b>1.</b>	<b>The Council has acted positively and proactively in the determination of this application by working to determine it within the agreed determination timescale.</b>
<b>2.</b>	<b>The Applicant is strongly advised to refer to the Broxtowe HMO Property Standards.</b>

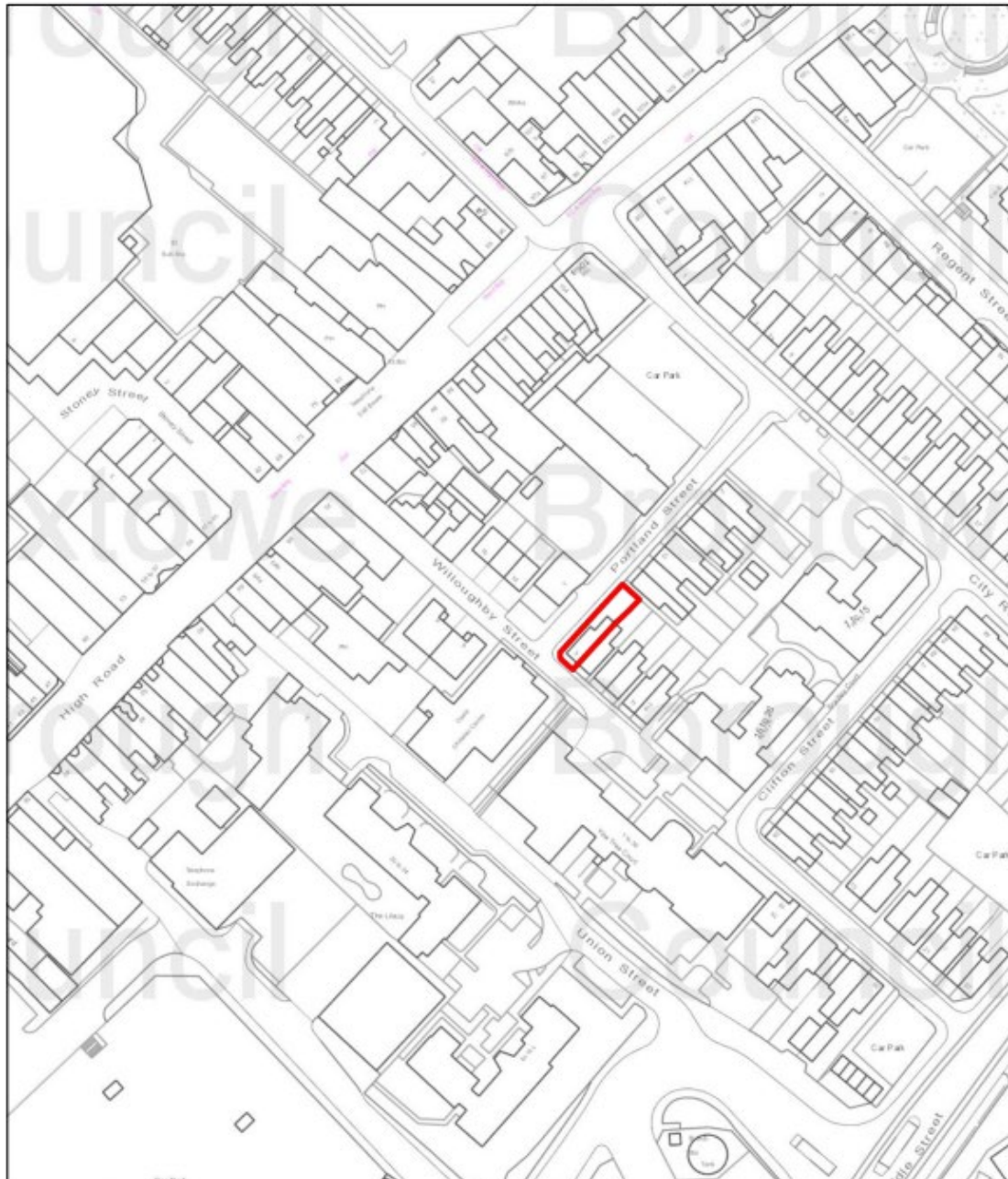


3.	<p>The Council's Private Sector Housing Team comments that a fire detection system would be required prior to occupation as a HMO as follows:</p> <ul style="list-style-type: none"> <li>• A mains-wired interlinked smoke alarm with battery back-up in the first floor common parts;</li> <li>• A mains-wired interlinked heat alarm with battery back-up in the open plan kitchen / diner / lounge;</li> <li>• A mains-wired interlinked smoke alarm with battery back-up in the ground floor common parts near the ground floor bedroom.</li> <li>• Thumb turn locks should be fitted to the exit doors to ensure that occupiers can make a swift escape from the property in the event of a fire without the use of door keys.</li> <li>• If the bedroom doors are fitted with locks then they should also be thumb turn locks.</li> <li>• There should be an escape window at first floor level to ensure an alternative means of escape in case the ground floor escape route is compromised. The window should be fitted in a room which cannot be locked from the outside, so in this case ideally the bathroom.</li> <li>• The escape window should have an unobstructed openable area that is at least 0.33m<sup>2</sup> and at least 450mm high and 450mm wide (the route through the window may be at an angle rather than straight through). The bottom of the openable area should not be below 800mm or more than 1100mm above the floor level. The window must also have appropriate escape catches and hinges to ensure this clear opening is achieved.</li> </ul>
4.	<p>Nottinghamshire Police advise that many HMOs visited by the Police have poor standards of security which renders the occupants at an increased risk of becoming victims of crime. As the occupants of HMOs do not own the property it is often difficult for them to adopt any crime reduction recommendations made by the Police after a crime has taken place.</p> <p>Statistically, the likelihood of being a repeat victim of house burglary in England &amp; Wales increases exponentially unless crime reduction measures are adopted (Tseloni et al., 2018). The premises are situated within a high crime area of Nottingham, Nottinghamshire. This street is also situated in one of the higher crime and disorder LSOAs (Lower Super Output Area) in England &amp; Wales.</p> <p>It is possible that a house of multiple occupancy while resulting in the re-use of a building would not necessarily achieve a mixed and balanced community if such properties continue to be converted in the same localised area, and the residents of them remain transient and lack ownership or desire to become embedded in</p>

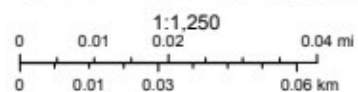
	that community. It may also become targeted for crime if security measures are not considered therein.
<b>5.</b>	The applicant will need to apply to the Local Highways Authority for a dropped kerb in regard to the two proposed parking spaces in the rear garden of the application site.

Site Map

23/00293/FUL - 3 Willoughby Street, Beeston



8/10/2023, 4:26:18 PM



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any of this data to third parties in any form

Photographs



Photograph showing the front elevation of 3 Willoughby (on the left) and adjoining adjacent neighbouring property 5 Willoughby Street (on the right).



Photograph showing the existing lounge which is proposed to be converted into a ground floor bedroom.



Photograph showing the existing kitchen area which will remain.



Photograph showing the existing dining area which will remain.





Photograph showing one of the first floor bedrooms which will remain.



Photograph showing the second of the first floor bedrooms which will remain.



Photograph showing the first floor bathroom which will remain.



Photograph showing rear garden of the application site.

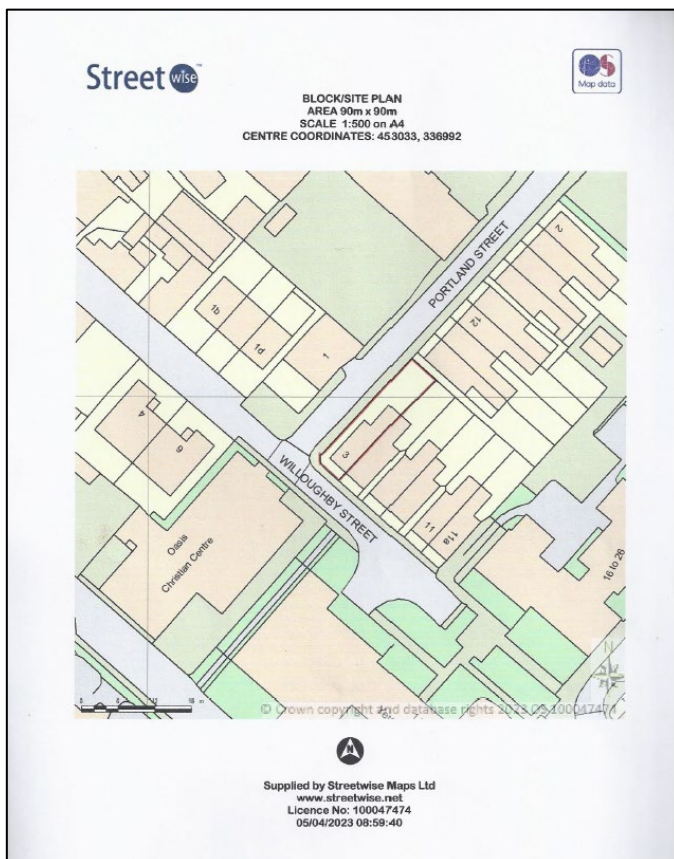


Another photograph showing the rear garden of the application site.



Photograph showing the rear elevation of the existing dwelling.

### Plans (Not to Scale)



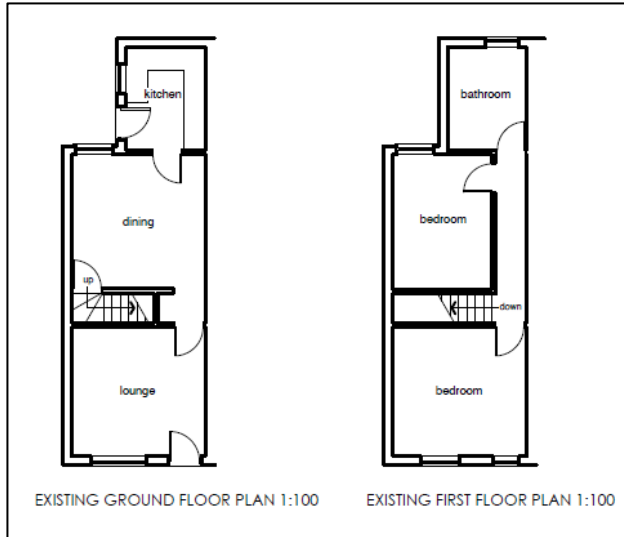
Site Location Plan



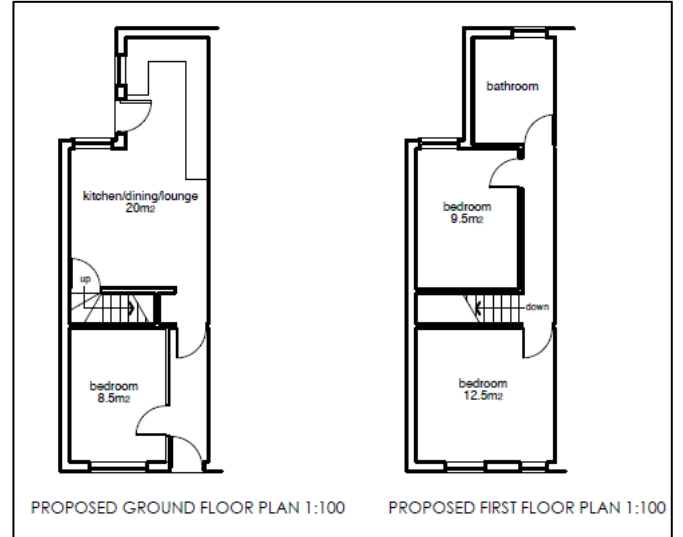
Proposed Parking Plan



### Existing Floor Plans



### Proposed Floor Plans



**Figure 1 - Beeston Article 4 HMOs (Radius Approach)**



Key

Licensed



Non-Licensed



HMOs within Article 4	Known HMOs (23)	Dwellings (165)	
Locate Application	<a href="#">Start Over</a>		Closest Address
	Buffer Distance 100   Meters		Portland Street Nottingham, England NG9 2



**Figure 2 -Beeston Article 4 HMOs – Highlighting there will be no clustering or sandwiching**

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## Report of the Chief Executive

<b>APPLICATION NUMBER:</b>	<b>23/00126/FUL</b>
<b>LOCATION:</b>	<b>Beauvale Manor Farm, New Road, Greasley, Nottinghamshire, NG16 2AA</b>
<b>PROPOSAL:</b>	<b>Retain addition of hardstanding to an agricultural track, access and gate.</b>

The application is brought to the Committee at request of Councillor M Brown.

### 1. Purpose of the Report

- 1.1 The application seeks planning permission to retain the provision of hardstanding to an agricultural track along with the provision of an access off New Road and gate.

### 2. Recommendation

**The Committee is asked to resolve that planning permission be granted subject to conditions outlined in the appendix.**

### 3. Detail

- 3.1 The application site is within the Nottinghamshire Green Belt. The proposal is considered to be an exception to inappropriate development in accordance with paragraph 150(b) of the National Planning Policy Framework 2021 (NPPF), which allows engineering operations; so long as it they do not result in additional harm of the openness of the Green Belt.
- 3.2 Whilst the access track and the hardstanding covers a large area, leading from an access off New Road to the bottom of the field boundaries and to the rear in both directions along a dismantled railway line, the visual impact is minimal.
- 3.3 Overall it is considered that the proposal is in accordance with the policies set out in the Council's Local Plan 2019 and the NPPF 2021. It is therefore considered that the proposal is acceptable and that planning permission should be granted in accordance with the recommendations set out in the appendix.

### 4. Financial Implications

- 4.1 The comments from the Head of Finance Services were as follows:  
There are no additional financial implications for the Council with the costs/income being within the normal course of business and contained within existing budgets. Any separate financial issues associated with Section 106s (or similar legal documents) are covered elsewhere in the report.

5. Legal Implications

- 5.1 The comments from the Head of Legal Services were as follows: The Legal implications are set out in the report where relevant, a Legal advisor will also be present at the meeting should legal considerations arise.

6 Data Protection Compliance Implications

- 6.1 Due consideration has been given to keeping the planning process as transparent as possible, whilst ensuring that data protection legislation is complied with.

7. Background Papers

Nil.



## APPENDIX

1 Details of the Application

- 1.1 The application seeks planning permission to retain the provision of hardstanding to an agricultural track along with the provision of an access off New Road and gate.

2 Site and surroundings

- 2.1 The agricultural track is located to the north of New Road and its route passes the field boundaries and along a dismantled railway line. The land surrounding the track is used for agricultural purposes which allows machinery access to the surrounding fields.

3 Relevant Planning History

- 3.1 No relevant Planning History

4 Relevant Policies and Guidance4.1 **Greater Nottingham Aligned Core Strategies Part 1 Local Plan 2014:**

- 4.1.1 The Council adopted the Core Strategy (CS) on 17 September 2014.

- Policy A: Presumption in Favour of Sustainable Development
- Policy 2: The Spatial Strategy
- Policy 10: Design and Enhancing Local Identity
- Policy 11: Historic Environment

4.2 **Part 2 Local Plan 2019:**

- 4.2.1 The Council adopted the Part 2 Local Plan on 16 October 2019.

- Policy 17: Place-making, Design and Amenity
- Policy 8: Development in the Green Belt
- Policy 23: Proposals affecting Designated and Non-Designated Heritage Assets

4.3 **National Planning Policy Framework (NPPF) 2019:**

- Section 2 – Achieving Sustainable Development.
- Section 4 – Decision-making.
- Section 12 – Achieving well-designed places.
- Section 13 – Protecting Green Belt land.
- Section 16 – Conserving and Enhancing the historic environment.

## 5 Consultations

- 5.1 **The Highway Authority** – No objections subject to a condition relating to the access point of New Road consisting of a bound material for the first 8m.
- 5.2 Four properties either adjoining or close to the site were consulted and a site notice was displayed. Three letters of support have been received, including one from the National Farmers Union. One letter has also been received raising concerns in respect of the track being used for the Nature Tots business being run nearby. However, this is a separate matter and not material to this application.

## 6 Assessment

- 6.1 The main issues for consideration relate to whether the principle of the hardstanding, access and gate is acceptable in the Green Belt and the impact upon the openness of the Green Belt, residential amenity, highway safety and the impact upon the Heritage Assets nearby. They will be discussed in turn as follows:

### 6.2 **Principle of Development and impact upon the openness of the Green Belt**

- 6.2.1 Policy 8 of the Local Plan 2019 states that applications for development and diversification of the rural economy in the Green Belt will be supported, provided that they are in accordance with the NPPF. Policy 150 of the NPPF states that certain other forms of development are not inappropriate in the Green Belt provided they preserve its openness and do not conflict with purposes of including land within it. These include engineering operations.
- 6.2.2 Whilst retrospective, the proposal has added hardstanding to an existing agricultural track which constitutes an engineering operation. The upgraded track, drainage ditch, access and gate are required to support the existing agricultural operations carried out by the applicant for maintaining the land etc. The access and hardstanding allows the applicant to access the surrounding fields with heavy machinery which could not be easily accessed before when there was just a dirt track due to surface water flood risk on the site. This will improve the productivity of the field which is prone to waterlogging, hence limiting the yield potential of the land.
- 6.2.3 The actual surfacing of the track differs along the track due to gradient of the land and surface water flooding and consists of crushed hard core. The access point located off New Road will be served by a metal gate and wooden supporting posts which are typically found in rural locations and associated agricultural land. In light of the above, the principle of development is considered acceptable where the improved agricultural track is required to support an existing agricultural enterprise. The proposal will not harm the openness of the Green Belt and meets the requirements of Policy 8 of the Part 2 Local Plan 2019 paragraph 150 of the NPPF.

### 6.3 **Residential Amenity**

- 6.3.1 Due to the remote location of the site and there being no immediate neighbouring properties, it is not considered the proposal will give rise to any significant issues upon residential amenity.

#### 6.4 Highway Safety and Access

- 6.4.1 A new access point has been provided off New Road leading to the access track. The only access previously was via an entrance located to the rear of numbers 50 – 52 New Road. The Highway Authority have raised no objections to the proposal subject to a condition relating to the access off New Road requiring to be a hard bound material (not loose gravel) for a minimum of 8m. It is also advised that a verge vehicular crossing to be constructed and this will be provided to the applicant via a note to applicant. There are no highway safety issues relating to this application.

#### 6.5 Impact upon nearby Heritage Assets

- 6.5.1 Although there are Listed Buildings Beauvale Manor Farm and Beauvale Abbey Farm along with a scheduled Ancient Monument Beauvale Corthisian Priory within the local vicinity of the red line of the application site, given the minor nature of the proposal it is not considered the proposal will effect these buildings or there setting.

#### 7. Planning Balance

- 7.1 On balance, the principle of development is considered acceptable and will enable agricultural vehicles to access the fields particular during the Autumn/Winter months, improving the productivity of the field which is prone to waterlogging, hence limiting the yield potential of the land. It is not considered the proposal will have any negative impact upon the openness of the Green Belt, residential amenity, highway safety or the nearby heritage assets and on balance therefore, it is considered the scheme is acceptable.

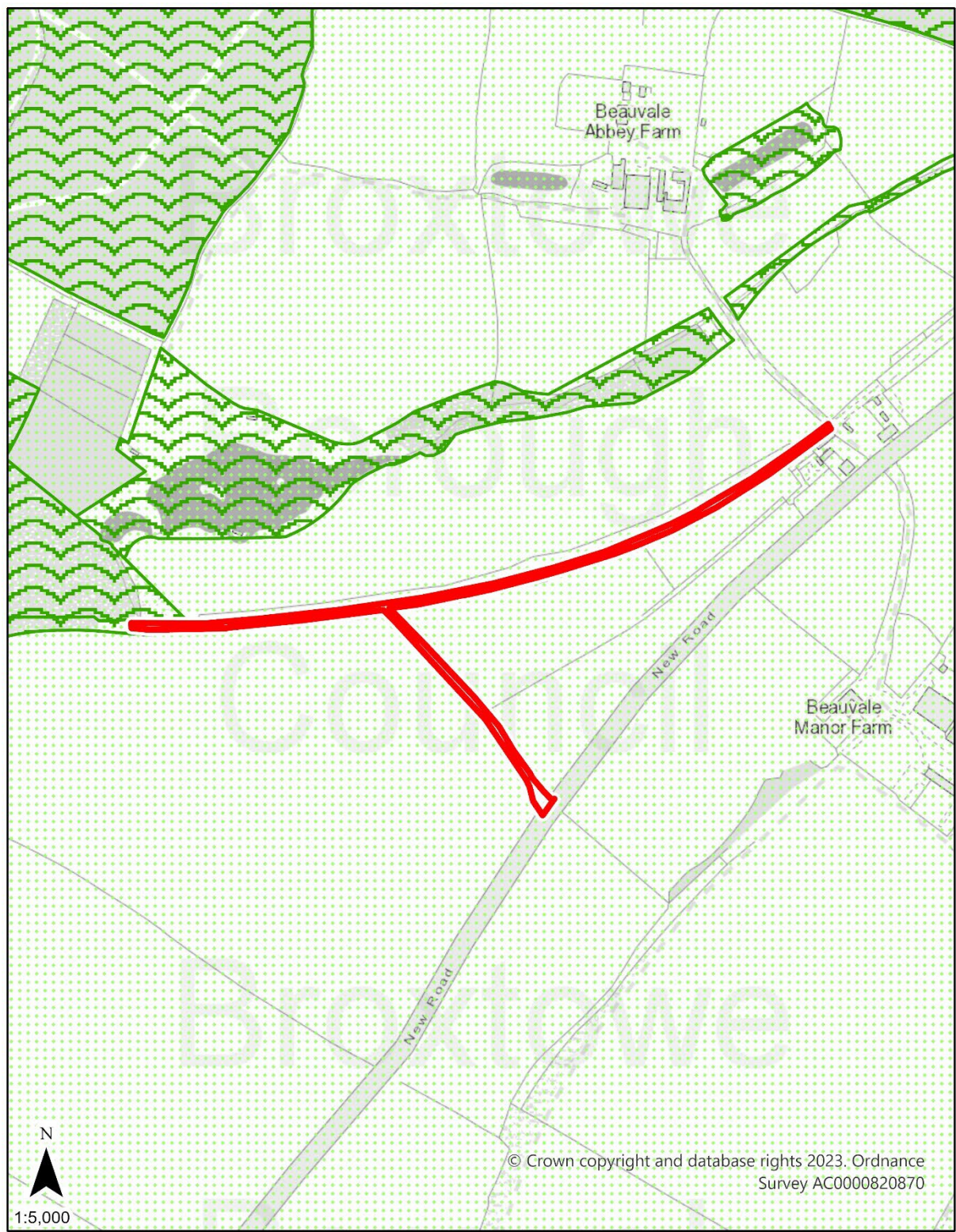
#### 8. Conclusion

- 8.1 Having regard to all material considerations, the proposal is considered to represent appropriate development in the Green Belt. Therefore, the proposal is considered to be in accordance with the relevant local and national policy guidance and there are no material considerations which would warrant a decision being taken at variance to this.

<b><u>Recommendation</u></b>	
The Committee is asked to RESOLVE that planning permission be granted subject to the following conditions.	
1.	<p>The development hereby permitted shall be carried out in accordance with Site Location Plan 1: 1250, LP01A received by the Local Planning Authority 11 August 2023, Metal Gate Elevations, LP01, Gate Location, BP01, Section of track, FT01 received by the Local Planning Authority on 27 March 2023 and Block Plan, LP01A received by the Local Planning Authority on 14 August 2023.</p> <p><i>Reason: For the avoidance of doubt.</i></p>
2.	<p>Within 3 months from the date of this decision, the access will be required to be surfaced in a hard-bound material (not loose gravel) for a minimum of 8.0 metres behind the Highway boundary. The surfaced access shall then be maintained in such hard-bound material for the life of the development.</p> <p><i>Reason: To reduce the possibility of deleterious material being deposited on the public highway (loose stones etc.), in accordance with policy 10 of Aligned Core Strategy (2014) and Policy 17 of the Part 2 Local Plan (2019).</i></p>
<b>NOTES TO APPLICANT</b>	
1.	The Council has acted positively and proactively in the determination of this application by working to determine it within the determination timescale.
2.	<p>The proposed development lies within an area that has been defined by the Coal Authority as containing coal mining features at surface or shallow depth. These features may include: mine entries (shafts and adits); shallow coal workings; geological features (fissures and break lines); mine gas and former surface mining sites. Although such features are seldom readily visible, they can often be present and problems can occur, particularly as a result of new development taking place.</p> <p>Any form of development over or within the influencing distance of a mine entry can be dangerous and raises significant land stability and public safety risks. As a general precautionary principle, the Coal Authority considers that the building over or within the influencing distance of a mine entry should be avoided. In exceptional circumstance where this is unavoidable, expert advice must be sought to ensure that a suitable engineering design which takes into account all the relevant safety and environmental risk factors, including mine gas and mine-water. Your attention is drawn to the Coal Authority Policy in relation to new development and mine entries available at:</p>

	<p><a href="http://www.gov.uk/government/publications/building-on-or-within-the-influencing-distance-of-mine-entries">www.gov.uk/government/publications/building-on-or-within-the-influencing-distance-of-mine-entries</a></p> <p>Any intrusive activities which disturb or enter any coal seams, coal mine workings or coal mine entries (shafts and adits) requires a Coal Authority Permit. Such activities could include site investigation boreholes, excavations for foundations, piling activities, other ground works and any subsequent treatment of coal mine workings and coal mine entries for ground stability purposes. Failure to obtain a Coal Authority Permit for such activities is trespass, with the potential for court action.</p> <p>If any coal mining features are unexpectedly encountered during development, this should be reported immediately to the Coal Authority on 0345 762 6848. Further information is available on the Coal Authority website at: <a href="http://www.gov.uk/government/organisations/the-coal-authority">www.gov.uk/government/organisations/the-coal-authority</a></p>
3.	<p>The development makes it necessary to construct/improve the verge crossing over a verge of the public highway. These works shall be constructed to the satisfaction of the Highway Authority. Works will be subject to a design check and site inspection for which a fee will apply. The application process can be found at: <a href="http://www.nottinghamshire.gov.uk/transport/licences-permits/temporary-activities">http://www.nottinghamshire.gov.uk/transport/licences-permits/temporary-activities</a></p>





- Legend
-  Site Outline
  -  Local Wildlife Site
  -  Green Belt



**Photographs**

**Access point off New Road**



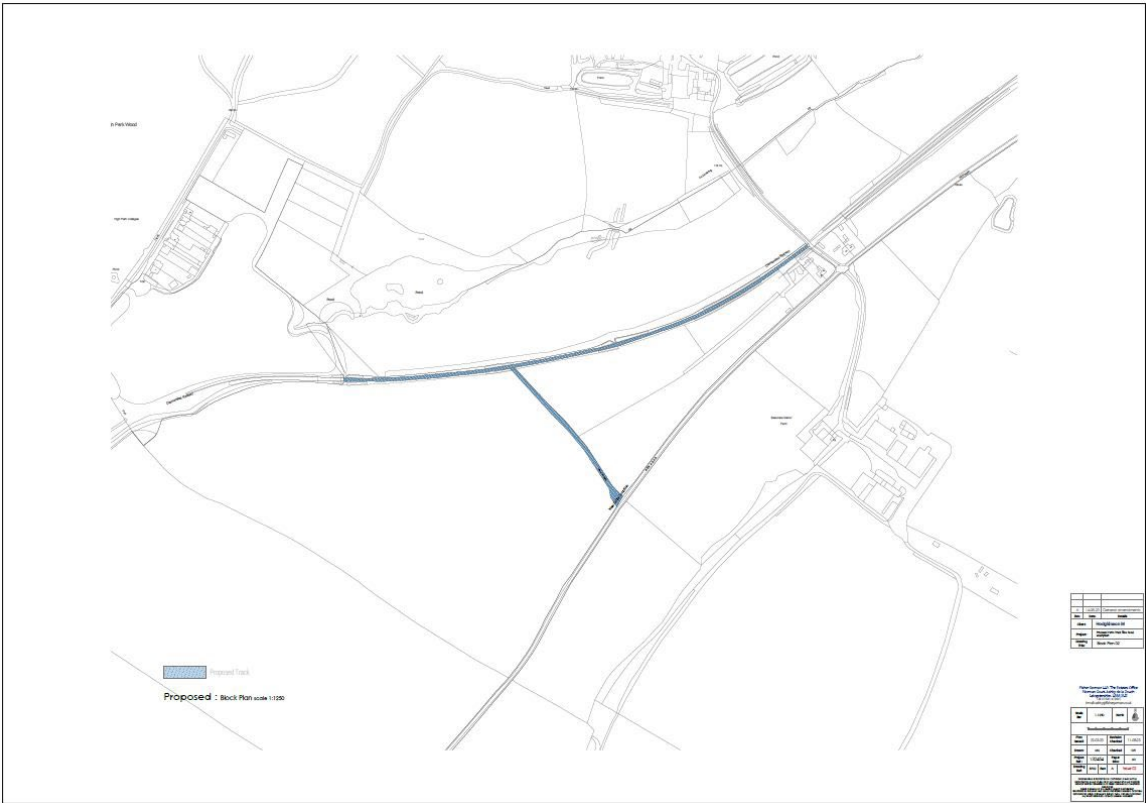
**Access Track**



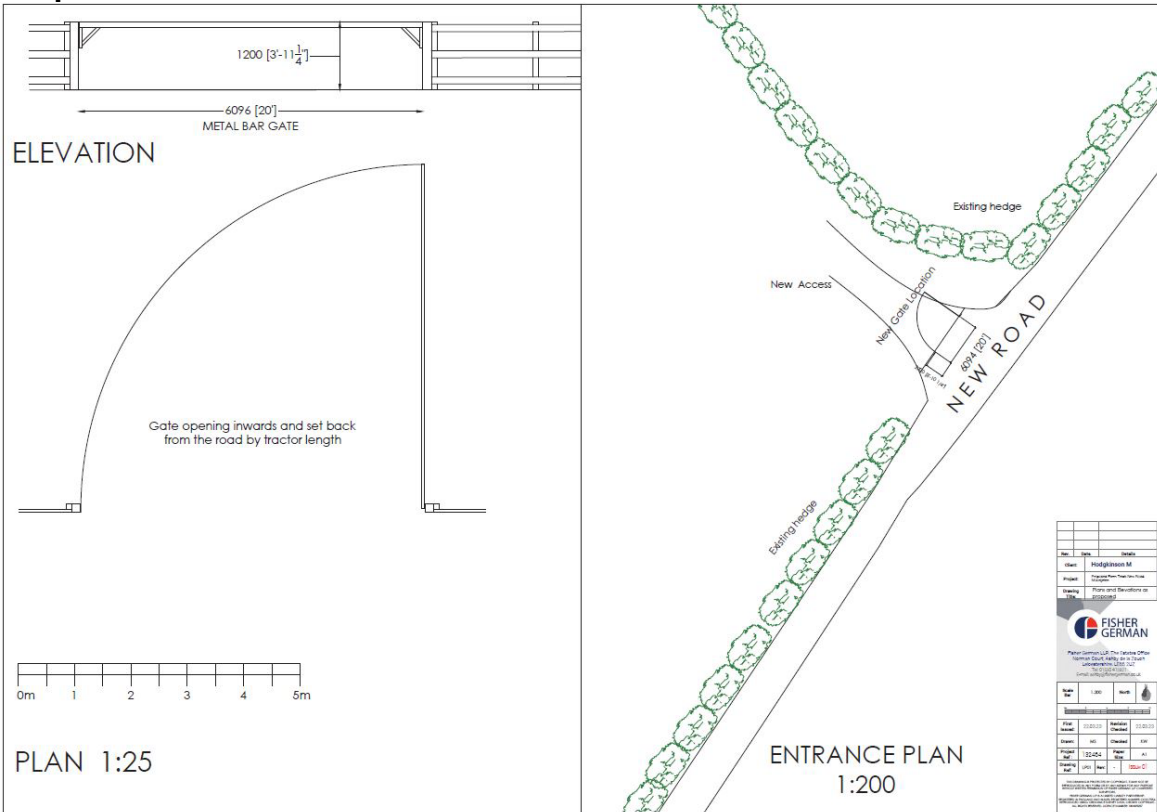


Plans (not to scale)

Block Plan



Proposed Access and Gate Elevation



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## Report of the Chief Executive

## APPEAL DECISION

<b>APPLICATION NUMBER:</b>	<b>22/00236/CLUP</b>
<b>LOCATION:</b>	<b>17 Templar Road, Beeston, Nottinghamshire, NG9 2DX</b>
<b>PROPOSAL:</b>	<b>Certificate of lawfulness for proposed change of use from dwelling house (Class C3) to house in multiple occupation (Class C4)</b>

## APPEAL ALLOWED / COSTS AWARDED

## RECOMMENDATION BY OFFICER – REFUSAL

## REASON FOR REFUSAL

On the date of the application the house was being used as a family home (dwellinghouse) falling within Use Class C3. The evidence provided failed to demonstrate that the property known as 17 Templar Road, Beeston, NG9 2DX would be occupied, before 26 March 2022 (date of Article 4 Direction), by persons who do not form a single household and therefore, the use as a House in Multiple Occupation ('HMO') had not been instituted at the time the Article 4 Direction came into force. The application for the proposed use as a HMO would therefore breach Section 192 (2) of the Town and Country Planning Act (1990).

## LEVEL OF DECISION: DELEGATED POWERS

The inspector considered the main issues to consider were:

- Whether the Council's decision to refuse the LDC was well founded.

## REASONS

### Whether the Council's decision to refuse the LDC was well founded

This turns on whether, at the time of the application, the proposed change of use would have constituted permitted development and therefore granted planning permission by Article 3 and Schedule 2, Part 3, Class L of the Town and Country Planning (General Permitted Development) (England) Order 2015 as amended (the GPDO). The planning merits of the proposal are not relevant.

Class L permits development of a change of use of a building from a use falling within Class C3 (dwellinghouses) of the Schedule to the Use Classes Order, to a use falling within Class C4 (houses in multiple occupation) of that Schedule.

There is no dispute between the parties that the property was Class C3 at the time of the application and there is no dispute that the proposed use was Class C4. Under s192(2), if, on an application under this section, the local planning authority are provided with information satisfying them that the use or operations described in the application would be lawful if instituted or begun at the time of the application, they shall issue a certificate

to that effect. This means that the relevant date is the date that the application was made.

The Article 4 Direction removing permitted development under Class L for a change of use from C3 to C4 did not come into effect until 26 March 2022. Therefore, the change of use, as described by the appellant, would have been lawful on the day that the application was made, i.e. on 16th March 2022 as the right under Class L still existed on that date.

This does not necessarily mean that a change of use would have been lawful if it occurred on or after the 26 March 2022. The Inspector's consideration in this matter is not whether the development would be lawful now. The Inspector's consideration is whether it would have been lawful on the date the application was made.

The Inspector notes the Council's point that the appellant did not provide evidence that the change of use occurred before the Article 4 Direction came into effect. However, there was no need for the appellant to do so because the consideration of the proposed use only relates to the date the application was made and a certificate would only confirm that the proposed change of use would have been lawful on that date.

## **CONCLUSION**

For the reasons given above the Inspector concluded, on the evidence now available, that the Council's refusal to grant a certificate of lawful use or development was not well-founded and the appeal should succeed.

## **COSTS AWARDED**

The Planning Practice Guidance (PPG) advises that irrespective of the outcome of an appeal, costs may only be awarded where a party has behaved unreasonably, and the unreasonable behaviour has directly caused another party to incur unnecessary or wasted expense in the appeal process.

The Inspector stated that the Council misapplied s192 of the Town and Country Planning Act 1990. The Council did not determine the application for the lawful development certificate (LDC) under the circumstances which existed on the relevant date. The relevant date was the date of the application, 16th March 2023.

Instead, it erroneously took account of the fact that the permitted development right to change the use of the C3 dwelling to a C4 house in multiple occupation would be removed at some point in the near future by the Article 4 Direction. That is not the correct approach under s192.

The failure of the Council to correctly apply the legislation amounts to unreasonable behavior which has resulted in unnecessary expense for the appellant in appealing against the refusal of the LDC.



## **BROXTOWE BOROUGH COUNCIL DEVELOPMENT CONTROL – PLANNING & COMMUNITY DEVELOPMENT**

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**PLANNING APPLICATIONS DEALT WITH FROM  
10 July 2023 TO 11 August 2023**

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### **CONTENTS**

Planning applications dealt with under Delegated Powers

Please note: This list is now prepared in WARD order (alphabetically)

# BROXTOWE BOROUGH COUNCIL

## DEVELOPMENT CONTROL – PLANNING & COMMUNITY DEVELOPMENT

### P L A N N I N G   A P P L I C A T I O N S   D E T E R M I N E D   B Y D E V E L O P M E N T   C O N T R O L

#### ATTENBOROUGH & CHILWELL EAST WARD

Applicant	:	Mr Simon Taylor	23/00261/CLUE
Site Address	:	198 Cator Lane Chilwell Nottinghamshire NG9 4BE	
Proposal	:	<b>Certificate of lawfulness of existing development to confirm works undertaken correspond with plans approved under ref: 19/00267/OUT &amp; 20/00497/REM to construct 10 dwellings</b>	
Decision	:	<b>Approval - CLU</b>	

Applicant	:	Miss Nichola Sherry	23/00384/FUL
Site Address	:	24 Perkins Way Chilwell Nottinghamshire NG9 5JB	
Proposal	:	<b>Retain wooden summer house</b>	
Decision	:	<b>Conditional Permission</b>	

Applicant	:	Mr Jowett Meadow Lane Services Ltd	23/00419/PAP20
Site Address	:	Retlaw Court And Westmaner Court Hall Drive Chilwell Nottinghamshire	
Proposal	:	<b>Prior approval to create additional floor to each block to create an additional 8 apartments</b>	
Decision	:	<b>Prior Approval Refused</b>	

Applicant	:	Mr And Mrs C And V Bairstow Newton	23/00450/FUL
Site Address	:	7 Audon Avenue Chilwell Nottinghamshire NG9 4AW	
Proposal	:	<b>Construct two storey side/ front extension and single storey rear extension</b>	
Decision	:	<b>Conditional Permission</b>	

Applicant	:	Laurice Fretwell	23/00486/CAT
Site Address	:	230 High Road Chilwell Nottinghamshire NG9 5DB	
Proposal	:	<b>Cedar x2 - Light crown lift of branches (3.5-5m) over-hanging pedestrian path and bus stop</b>	
		<b>Copper Beech - Removal of deadwood</b>	
Decision	:	<b>No Objection</b>	

Applicant	:	Mr Chris Birch	23/00496/CAT
Site Address	:	The Chestnuts Shady Lane Attenborough Nottinghamshire NG9 6AW	
Proposal	:	<b>T1 Sycamore T2 Lime T3 Lime - Crown lift all trees to 4m, remove deadwood and thin by 20% to clear highway, to allow more air through the trees and for health and safety reasons.</b>	
Decision	:	<b>No Objection</b>	

Applicant	:	Pinnock	23/00506/CAT
Site Address	:	8 Barratt Lane Attenborough Nottinghamshire NG9 6AF	
Proposal	:	<b>Crab Apple - Fell to ground level.</b>	
		<b>Purple Plum - Fell to ground level.</b>	
		<b>Cherry - Reduce lateral branches by 2m.</b>	
		<b>2x Box - Fell to ground level.</b>	
		<b>Cherry ? Reduce lateral branches by 2-3m</b>	
Decision	:	<b>No Objection</b>	

## AWSWORTH, COSSALL & TROWELL WARD

Applicant : Mr Gurjit Mahal Taylor Reed Homes Ltd 21/00508/LBC  
Site Address : Willoughby Almshouses Church Lane Cossall NG16 2RT  
Proposal : **Residential extensions and refurbishments creating one 2-bedroomed dwelling (House 1), two 3-bedroomed dwellings (House 3 and 4) and one 4-bedroomed dwelling (House 2), new gardens, a new vehicular access and a car park, off-site alterations to junction of track to the east of the site with Church Lane and to remove certain trees from the rear of the site.**  
Decision : **Withdrawn**

---

Applicant : Mr Richard Roberts Trowell Football Club 23/00269/FUL  
Site Address : Football Recreation Ground Pit Lane Trowell Nottinghamshire  
Proposal : **Replacement portacabin and retain for temporary period of 10 years**  
Decision : **Conditional Permission**

---

Applicant : Mr Shakil Ahmad 23/00401/FUL  
Site Address : 35 Roehampton Drive Trowell Nottinghamshire NG9 3QY  
Proposal : **Construct first floor side extension**  
Decision : **Conditional Permission**

---

Applicant : Mr C Jesson 23/00452/FUL  
Site Address : 24 Wortley Avenue Trowell Nottinghamshire NG9 3QP  
Proposal : **Construct single storey front extension**  
Decision : **Conditional Permission**

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Applicant : Ms D Butler 23/00418/PNH  
Site Address : 60 Northern Drive Trowell Nottinghamshire NG9 3QL  
Proposal : **Construct single storey rear extension, extending beyond the rear wall of the original dwelling by 4 metres, with a maximum height of 3.7 metres, and an eaves height of 2.5 metres.**  
Decision : **Prior Approval Granted**

---

Applicant : Mr Edis 23/00473/FUL  
Site Address : 35 Barlow's Cottages Lane Awsworth Nottinghamshire NG16 2QW  
Proposal : **Construct first floor side extension**  
Decision : **Conditional Permission**

---

Applicant : Greg Parkes 23/00500/NMA  
Site Address : 28 Old School Lane Awsworth Nottinghamshire NG16 2WX  
Proposal : **Non Material Amendment to 23/00010/FUL to extend the first floor side extension to size of proposed ground floor extension**  
Decision : **Unconditional Permission**

---

## BEESTON CENTRAL WARD

Applicant : Mr Michael Singh Sarah Bath Limited 23/00206/FUL  
Site Address : 168A & 168B Lower Regent Street Beeston Nottinghamshire NG9 2DD  
Proposal : **Construct single storey unit (revised scheme)**  
Decision : **Conditional Permission**

---

Applicant : Mr Gregory Mason 23/00348/CLUE  
Site Address : 55 Lower Road Beeston Nottinghamshire NG9 2GT  
Proposal : **Certificate of Lawfulness for an existing use as a HMO within Use Class C4**  
Decision : **Approval - CLU**

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Applicant : CK Hutchinson Networks (UK) Ltd 23/00417/TEL  
Site Address : Outside Of 201 - 209 Queens Road Beeston Nottinghamshire NG9 2BZ  
Proposal : **Installation of 15m high slim-line monopole supporting 6 no. antennas, 3 no. equipment cabinets, and ancillary development**  
Decision : **Prior Approval Not Required**

---

Applicant	:	MR KEREEM BADI	23/00421/FUL
Site Address	:	22 Pelham Crescent Beeston Nottinghamshire NG9 2ER	
Proposal	:	<b>Change of use from dwelling (class C3) to 4 bed HMO (class C4)</b>	
Decision	:	<b>Refusal</b>	
Applicant	:	Mr Richard Singh BSP Capital	23/00438/FUL
Site Address	:	Broadgate House Broadgate Beeston Nottinghamshire NG9 2HF	
Proposal	:	<b>Creation of 11 dwellings and community space to the car park floor (basement) associated with the ground and upper floors</b>	
Decision	:	<b>Refusal</b>	
Applicant	:	Mr & Mrs Pepper	23/00465/FUL
Site Address	:	52 King Street Beeston Nottinghamshire NG9 2DL	
Proposal	:	<b>Construct single storey rear extension</b>	
Decision	:	<b>Conditional Permission</b>	
<b>BEESTON NORTH WARD</b>			
Applicant	:	Mr and Mrs Dale	23/00404/FUL
Site Address	:	9 Briar Close Beeston Nottinghamshire NG9 3AH	
Proposal	:	<b>Construct single storey side / rear extension, including garage conversion and car port</b>	
Decision	:	<b>Conditional Permission</b>	
Applicant	:	Mr & Mrs Morrow	23/00437/FUL
Site Address	:	56 Dennis Avenue Beeston Nottinghamshire NG9 2PR	
Proposal	:	<b>Construct single storey rear extension (revised scheme)</b>	
Decision	:	<b>Conditional Permission</b>	
Applicant	:	Mr Tony King UPP Student Accomodation	23/00499/TPOW
Site Address	:	Land At University Of Nottingham Birches Salthouse Court Broadgate Park Student Village Beeston Nottinghamshire	
Proposal	:	<b>T53 Lime - Pollard/reduce 50%</b> <b>T54 and T56 Limes - Crown lift to 6m on neighbours side</b> <b>T105 - 122 and T188 Limes - Re-pollard to previous pollard points to maintain clearances</b> <b>T139 Birch - Fell to ground level, dead.</b>	
Decision	:	<b>Conditional Permission</b>	
<b>BEESTON RYLANDS WARD</b>			
Applicant	:	Mr Owen Phillips c/o Agent	22/00188/FUL
Site Address	:	Beeston Lodge Nursing Home 15 - 17 Meadow Road Beeston Nottinghamshire NG9 1JP	
Proposal	:	<b>Conversion of 28-bedroom care home to 14 apartments with part-demolition and extension</b>	
Decision	:	<b>Conditional Permission</b>	
Applicant	:	Mr Michael Gillie	23/00399/FUL
Site Address	:	6 Lily Grove Beeston Nottinghamshire NG9 1QL	
Proposal	:	<b>Construct single storey side/rear extension, rear dormer and solar panels to dormer roof</b>	
Decision	:	<b>Conditional Permission</b>	
Applicant	:	Mr Matthew Smith Boots UK	23/00415/FUL
Site Address	:	MediCity D6 Building Main Road Boots Campus Beeston Nottinghamshire NG90 6BH	
Proposal	:	<b>Install wide loading bay safety lighting system to both the North and South dock areas and canopy off the D6 building</b>	
Decision	:	<b>Conditional Permission</b>	

Applicant	:	Mr Matthew Smith Boots UK	23/00416/LBC
Site Address	:	MediCity D6 Building Main Road Boots Campus Beeston Nottinghamshire NG90 6BH	
Proposal	:	<b>Listed building consent to install wide loading bay safety lighting system to both the North and South dock areas and canopy off the D6 building</b>	
Decision	:	<b>Conditional Permission</b>	
Applicant	:	Nikki Whitfield Upperton Pharma Solutions	23/00440/ADV
Site Address	:	3, 5 & 11 Beeston Business Park Technology Drive Beeston Nottinghamshire NG9 1LA	
Proposal	:	<b>Display 4 non-illuminated signs</b>	
Decision	:	<b>Conditional Permission</b>	
Applicant	:	Mrs Caledonia Keetley	23/00441/FUL
Site Address	:	12 Thorndike Close Beeston Nottinghamshire NG9 1LS	
Proposal	:	<b>Construct single storey detached garage</b>	
Decision	:	<b>Conditional Permission</b>	
Applicant	:	Mr Mohammed Khaliq Barratt David Wilson Homes	23/00455/NMA
Site Address	:	Beeston Business Park Technology Drive Beeston Nottinghamshire	
Proposal	:	<b>Non material amendment to 19/00114/REM due to recent building regulation updates, some material changes</b>	
Decision	:	<b>Unconditional Permission</b>	
<b>BEESTON WEST WARD</b>			
Applicant	:	Mr Mohammed Farooq	23/00195/FUL
Site Address	:	36 Sidney Road Beeston Nottinghamshire NG9 1AN	
Proposal	:	<b>Construct single storey rear extension, hip to gable extension and rear dormer</b>	
Decision	:	<b>Conditional Permission</b>	
Applicant	:	Mr P Tomlinson Abbey Road Properties (Beeston) Limited	23/00270/FUL
Site Address	:	60-62 Abbey Road Beeston Nottinghamshire NG9 2QF	
Proposal	:	<b>Demolition of 60 Abbey Road and double garage adjacent. Construct one x two storey dwelling and five bungalows. Extension and additional floor to storage unit rear of 62. Widening of access from Abbey Road.</b>	
Decision	:	<b>Conditional Permission</b>	
Applicant	:	Mr A Sadjia	23/00334/FUL
Site Address	:	10 Sidney Road Beeston Nottinghamshire NG9 1AN	
Proposal	:	<b>Retention of two storey rear extension. Reconfiguration of the front entrance porch. Loft conversion to create bedroom</b>	
Decision	:	<b>Conditional Permission</b>	
Applicant	:	Ciarnelli & Scurr	23/00405/FUL
Site Address	:	65 Denison Street Beeston Nottinghamshire NG9 1AX	
Proposal	:	<b>Construct single storey side/ rear extension and roof lights to the front</b>	
Decision	:	<b>Conditional Permission</b>	
Applicant	:	Mr P Abraham	23/00434/FUL
Site Address	:	Flat Above 100A Chilwell Road Beeston Nottinghamshire NG9 1ES	
Proposal	:	<b>Construct rear infill extension with pitched roof at first floor, 3 dormers to front elevation and alterations to create access to second floor flat</b>	
Decision	:	<b>Conditional Permission</b>	
Applicant	:	Mr Nicholas Tsioupra	23/00442/FUL
Site Address	:	63 Bramcote Drive Beeston Nottinghamshire NG9 1AR	
Proposal	:	<b>Single storey side extension and modifications to existing rear raised patio</b>	
Decision	:	<b>Conditional Permission</b>	
Applicant	:	Mr Liam Edwards MyPad	23/00453/NMA
Site Address	:	Cavendish Lodge 10 Devonshire Avenue Beeston Nottinghamshire NG9 1BS	
Proposal	:	<b>Non material amendment to 20/00256/FUL to alter garage door</b>	
Decision	:	<b>Refusal</b>	

Applicant	:	Dr & Dr Helen & Inge Buckler & Alferink	23/00461/FUL
Site Address	:	39 Imperial Road Beeston Nottinghamshire NG9 1FN	
Proposal	:	<b>Construct single storey side / rear extension. Insertion of roof lights to facilitate loft conversion</b>	
Decision	:	<b>Conditional Permission</b>	
Applicant	:	Ms Alison McKnespiey	23/00466/CAT
Site Address	:	55 Grove Avenue Chilwell Nottinghamshire NG9 4DZ	
Proposal	:	<b>T1 - Silver birch - 30% crown reduction</b>	
Decision	:	<b>No Objection</b>	
Applicant	:	Mr Matt Hilton	23/00467/CAT
Site Address	:	8 Elm Avenue Beeston Nottinghamshire NG9 1BU	
Proposal	:	<b>(T1 - 9) - Lawson Cypress - Fell to ground level (T10) - Holly - Fell to ground level (T11) - Silver birch - Fell to ground level</b>	
Decision	:	<b>No Objection</b>	
Applicant	:	Mr Christopher Navarro	23/00471/CAT
Site Address	:	3 Devonshire Avenue Beeston Nottinghamshire NG9 1BS	
Proposal	:	<b>Fell dead Ivy clad tree in front garden.</b>	
Decision	:	<b>No Objection</b>	
Applicant	:	Ms Jenny Swann	23/00552/CAT
Site Address	:	21 Devonshire Avenue Beeston Nottinghamshire NG9 1BS	
Proposal	:	<b>T1 - Cherry - 3m crown reduction and target prune any outlying branches T2 - Apple - Fell to ground level and grind stump T3 - Crab apple (dead) - Fell to ground level and grind stump</b>	
Decision	:	<b>No Objection</b>	
Applicant	:	Mr Vincent Dale	23/00558/CAT
Site Address	:	14 Park Road Chilwell Nottinghamshire NG9 4DA	
Proposal	:	<b>Remove tree to front garden</b>	
Decision	:	<b>No Objection</b>	
<b>BRAMCOTE WARD</b>			
Applicant	:	Mr Rocco Labbate	23/00110/FUL
Site Address	:	70 Beeston Fields Drive Bramcote Nottinghamshire NG9 3TD	
Proposal	:	<b>Demolition of existing dwelling and construction of a two storey dwelling with detached garage</b>	
Decision	:	<b>Refusal</b>	
Applicant	:	Mr & Mrs Sunderland	23/00285/FUL
Site Address	:	77 Beeston Fields Drive Bramcote Nottinghamshire NG9 3TD	
Proposal	:	<b>Construct detached three storey dwelling, including installation of air source heat pumps, following the demolition of the existing dwelling</b>	
Decision	:	<b>Conditional Permission</b>	
Applicant	:	Major & Normanton	23/00330/FUL
Site Address	:	4 And 6 Cranston Road Bramcote Nottinghamshire NG9 3GU	
Proposal	:	<b>Two storey extension to link adjacent properties to form one dwelling, rear two storey extension and loft extension. External cladding to front elevation</b>	
Decision	:	<b>Conditional Permission</b>	
Applicant	:	Mr Martin Herbert	23/00373/FUL
Site Address	:	29 Sandringham Drive Bramcote Nottinghamshire NG9 3ED	
Proposal	:	<b>Construct dormer to both sides and front hip to gable roof extension</b>	
Decision	:	<b>Conditional Permission</b>	



Applicant	:	Mr Andrew Bonner	23/00382/FUL
Site Address	:	28 Sandringham Drive Bramcote Nottinghamshire NG9 3EJ	
Proposal	:	<b>Retain front porch, single storey side extension, front extension to garage with Juliet balcony above and garden building. Installation of solar panel to roof. Change the use of garden building for hair and beauty use (revised scheme).</b>	
Decision	:	<b>Conditional Permission</b>	
Applicant	:	Mr Grewal	23/00414/FUL
Site Address	:	7 Beeston Fields Drive Beeston Nottinghamshire NG9 3DB	
Proposal	:	<b>Construct wall to front at a maximum height of 2m with iron panels and iron rail gates; replace garage door with a window and convert to habitable room, removal of chimneys</b>	
Decision	:	<b>Conditional Permission</b>	
Applicant	:	Stewart Robinson	23/00432/FUL
Site Address	:	2nd Bramcote Scout Group 2nd Bramcote Scout Hall Hanley Avenue Bramcote Nottinghamshire NG9 3HE	
Proposal	:	<b>Construct single storey rear extension including a ramp with hand rail</b>	
Decision	:	<b>Conditional Permission</b>	
Applicant	:	Ms Catherine Bellhouse	23/00469/CAT
Site Address	:	20 Chapel Street Bramcote Nottinghamshire NG9 3HB	
Proposal	:	<b>Works to Trees T1 and T2 Ash Trees</b>	
Decision	:	<b>No Objection</b>	
Applicant	:	Mr Matthew Thomas	23/00481/TPOW
Site Address	:	Maple House 1 Nectar Gardens Derby Road Bramcote Nottinghamshire NG9 3LU	
Proposal	:	<b>T1 - Lime - Reduce over hang by up to 2m T2 + T3 - Lime - Reduce by up to 2m</b>	
Decision	:	<b>Conditional Permission</b>	
<b>BRINSLEY WARD</b>			
Applicant	:	Mr Gerald Ruddy	23/00353/FUL
Site Address	:	Land Behind Willow Brook Farm 2 Mansfield Road Brinsley Nottinghamshire NG16 5AE	
Proposal	:	<b>Construct hay barn</b>	
Decision	:	<b>Conditional Permission</b>	
Applicant	:	Susan Gilbourne	23/00376/CLUE
Site Address	:	Land Adjacent 55 Mansfield Road Brinsley Nottinghamshire	
Proposal	:	<b>Certificate of lawfulness for the existing 'garden land' to be included within curtilage of dwelling at 55 Mansfield Road</b>	
Decision	:	<b>Approval - CLU</b>	
<b>EASTWOOD HALL WARD</b>			
Applicant	:	Mr Christopher Bampton	23/00495/PNH
Site Address	:	25 Nether Green Eastwood Nottinghamshire NG16 3DW	
Proposal	:	<b>Construct single storey rear extension, extending beyond the rear wall of the original dwelling by 3.52 metres, with a maximum height of 4.00 metres, and an eaves height of 2.20 metres</b>	
Decision	:	<b>Prior Approval Not Required</b>	

## EASTWOOD HILLTOP WARD

Applicant : Denise Knipe Nottinghamshire County Council 20/00845/OUT  
Site Address : Lynncroft Primary School Garden Road Eastwood Nottinghamshire  
Proposal : **Outline application with all matters reserved for 60 assisted living apartments with access from Walker Street**  
Decision : **Conditional Permission**

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Applicant : Mr Ray Calder 23/00183/REM  
Site Address : Land To The Rear Of 17A Percy Street Eastwood Nottinghamshire NG16 3EP  
Proposal : **Construct three dwellings (reserved matters relating to appearance and landscaping - planning reference 20/00099/OUT)**  
Decision : **Conditional Permission**

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Applicant : Mr K Farnsworth 23/00459/NMA  
Site Address : 59A Chewton Street Eastwood Nottinghamshire NG16 3GY  
Proposal : **Non material amendment to 22/00686/FUL to alter position of window**  
Decision : **Unconditional Permission**

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Applicant : Mr Leon Iheanacho 23/00519/FUL  
Site Address : 58 Newthorpe Common Newthorpe Nottinghamshire NG16 2EH  
Proposal : **Change of use of a single residential dwelling into two residential flats by blocking a ground floor doorway**  
Decision : **Conditional Permission**

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## EASTWOOD ST MARY'S WARD

Applicant : Dr Ali Cadmus Dental Practice 23/00306/FUL  
Site Address : Church View Dental Practice 22 Church Street Eastwood Nottinghamshire NG16 3HS  
Proposal : **Construct first floor rear extension and dormer windows to create additional dental surgery rooms**  
Decision : **Conditional Permission**

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Applicant : Cignal Infrastructure UK Ltd Cignal Infrastructure UK Ltd 23/00433/TEL  
Site Address : Grass Verge Corner At Farrington Way Eastwood Nottinghamshire  
Proposal : **Installation of 18m high slim-line monopole, supporting 6no. antennas, 3no.equipment cabinets and ancillary development thereto including 1 no. GPS module.**  
Decision : **Prior Approval Not Required**

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Applicant : Mr Ian Greaves Southwell & Nottingham Diocese 23/00443/CAT  
Site Address : The Rectory 5A Woodland Way Eastwood Nottinghamshire NG16 3BU  
Proposal : **T3- Sycamore: Fell to ground level due to Subsidence Claim and damage to The Rectory.**  
Decision : **No Objection**

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Applicant : The Governors White Hills Park Trust 23/00462/FUL  
Site Address : Springbank Primary School Peacock Drive Eastwood Nottinghamshire NG16 3HW  
Proposal : **Replacement roof**  
Decision : **Conditional Permission**

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Applicant : Mr Richard Broughton 23/00523/PNH  
Site Address : 18 Alexandra Street Eastwood Nottinghamshire NG16 3BD  
Proposal : **Construct single storey rear extension, extending beyond the rear wall of the original dwelling by 4.37 metres, with a maximum height of 3.30 metres, and an eaves height of 2.25 metres.**  
Decision : **Prior Approval Not Required**

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## GREASLEY WARD

Applicant	:	Mrs Sarah Morgan-Walker	23/00052/FUL
Site Address	:	65 Moorgreen Newthorpe Nottinghamshire NG16 2FD	
Proposal	:	<b>Retain 1.2m picket fence and gate.</b>	
Decision	:	<b>Conditional Permission</b>	

Applicant	:	Mr J Warren	23/00275/LBC
Site Address	:	The Coach And Gate House Beauvale House Moorgreen Newthorpe Nottinghamshire NG16 3QY	
Proposal	:	<b>Retain metal fencing</b>	
Decision	:	<b>Conditional Permission</b>	

Applicant	:	Mr Niblett	23/00426/FUL
Site Address	:	74 Moorgreen Newthorpe Nottinghamshire NG16 2FB	
Proposal	:	<b>Construct two storey side &amp; rear extensions (re submission)</b>	
Decision	:	<b>Refusal</b>	

## KIMBERLEY WARD

Applicant	:	Mr Martin Albone Marshall Industrial Supplies Limited	22/00871/FUL
Site Address	:	Former Storage Premises Adjacent To 3 Main Street Main Street Kimberley Nottinghamshire	
Proposal	:	<b>Construct three storey detached building comprising 5 apartments</b>	
Decision	:	<b>Conditional Permission</b>	

Applicant	:	Mr and Mrs Terry and Ann Anthony	22/01003/FUL
Site Address	:	Grasscroft Farm Babbington Lane Kimberley Nottinghamshire NG16 2PT	
Proposal	:	<b>Convert barn to residential use including construction of first floor extension</b>	
Decision	:	<b>Withdrawn</b>	

Applicant	:	Mr Wayne Gillet	23/00329/FUL
Site Address	:	93 Gilt Hill Kimberley Nottinghamshire NG16 2HR	
Proposal	:	<b>Proposed garden shed</b>	
Decision	:	<b>Conditional Permission</b>	

Applicant	:	Mrs Susan Mills Cherubs Nurseries	23/00385/FUL
Site Address	:	Cherubs Day Nursery High Street Kimberley Nottinghamshire NG16 2PD	
Proposal	:	<b>Conversion of outbuilding to form ancillary nursery space</b>	
Decision	:	<b>Conditional Permission</b>	

Applicant	:	Mr Peter Caunt	23/00387/FUL
Site Address	:	27 Nottingham Road Kimberley Nottinghamshire NG16 2NB	
Proposal	:	<b>Construct replacement front porch, single storey side and two storey rear extensions</b>	
Decision	:	<b>Conditional Permission</b>	

Applicant	:	Mr Gary Sladen	23/00408/FUL
Site Address	:	15 Edgwood Road Kimberley Nottinghamshire NG16 2JR	
Proposal	:	<b>Construct single storey front extension.</b>	
Decision	:	<b>Conditional Permission</b>	

Applicant	:	Mr S Singh	23/00424/FUL
Site Address	:	Land To Southwest Of Crabcroft Farm Awsworth Lane Awsworth Nottinghamshire	
Proposal	:	<b>Reconfigure stable block and barn (revised scheme)</b>	
Decision	:	<b>Conditional Permission</b>	

Applicant	:	Mr Emmanuel Agalamanyi	23/00425/PMAP32
Site Address	:	2 - 4 Regent Street Kimberley Nottinghamshire NG16 2LW	
Proposal	:	<b>Prior Notification for Change of Use from commercial, business and service to dwellinghouses (14 one bedroom apartments)</b>	
Decision	:	<b>Prior Approval Refused</b>	

Applicant	:	Mr Zahir Malik	23/00454/NMA
Site Address	:	39A Main Street Kimberley Nottinghamshire NG16 2NG	
Proposal	:	<b>Non material amendment to 22/00549/FUL to increase width of stair. Front elevation floor to ceiling windows at first and second floor level to be changed to single sliding door Juliet Balconies with glazed guarding. Windows on sides and rear elevations are no longer floor to ceiling height, all to have 900mm sill heights, windows widened to increase natural daylighting. Three additional windows added to the stair core on the intermediate landings between floors to increase natural daylighting.</b>	
Decision	:	<b>Refusal</b>	

#### NUTHALL EAST & STRELLEY WARD

Applicant	:	Mr & Mrs Amar Najia Waqas	23/00323/FUL
Site Address	:	78 Cedarland Crescent Nuthall Nottinghamshire NG16 1AH	
Proposal	:	<b>Construct single storey front, side and rear extensions and two storey rear extension.</b>	
Decision	:	<b>Conditional Permission</b>	

Applicant	:	Mr Deavin	23/00331/FUL
Site Address	:	15 Cokefield Avenue Nuthall Nottinghamshire NG16 1AU	
Proposal	:	<b>Construct raised decking area to the rear.</b>	
Decision	:	<b>Conditional Permission</b>	

Applicant	:	Mr Raymond Hall	23/00358/FUL
Site Address	:	Horsendale Farm Vernon Drive Nuthall Nottinghamshire NG16 1AR	
Proposal	:	<b>Construction of porch to front elevation</b>	
Decision	:	<b>Conditional Permission</b>	

Applicant	:	Mr John Wadsworth	23/00423/FUL
Site Address	:	4 Horsendale Avenue Nuthall Nottinghamshire NG16 1AN	
Proposal	:	<b>Construct single storey rear / side extensions and detached summer house / workshop</b>	
Decision	:	<b>Conditional Permission</b>	

#### STAPLEFORD NORTH WARD

Applicant	:	Ms Deborah Wnek	23/00226/FUL
Site Address	:	26 Rockford Court Stapleford Nottinghamshire NG9 8LD	
Proposal	:	<b>Retain raised decking and fencing</b>	
Decision	:	<b>Refusal</b>	

Applicant	:	Mr Nathaniel Cordon	23/00316/CLUP
Site Address	:	75 Melbourne Road Stapleford Nottinghamshire NG9 8NE	
Proposal	:	<b>Certificate of lawful development for proposed single storey extension</b>	
Decision	:	<b>Approval - CLU</b>	

Applicant	:	Mr Ian Shakespeare Aston Properties (UK) Limited	23/00338/FUL
Site Address	:	Mill Farm 62 Mill Road Stapleford Nottinghamshire NG9 8GD	
Proposal	:	<b>Construct two detached bungalows and improve access from Mill Road</b>	
Decision	:	<b>Refusal</b>	

Applicant	:	C/o Agent Keepmoat Homes, John Henry Rogers, Michael John Rogers Will	23/00317/ADV
Site Address	:	Hulks Farm Coventry Lane Bramcote Nottinghamshire NG9 3GJ	
Proposal	:	<b>Display 2 hoardings</b>	
Decision	:	<b>Withdrawn</b>	

Applicant	:	Mr & Mrs Spink	23/00482/FUL
Site Address	:	54 Mill Road Stapleford Nottinghamshire NG9 8GD	
Proposal	:	<b>Construct single storey side extension to reinstate car port and extend rear conservatory</b>	
Decision	:	<b>Conditional Permission</b>	

## STAPLEFORD SOUTH EAST WARD

Applicant	:	Mr Michael Broadhurst Mypad 2020 Ltd	22/00987/VOC
Site Address	:	Sandcliffe Accident Repair Centre Nottingham Road Stapleford Nottinghamshire NG9 8AQ	
Proposal	:	<b>Variation of condition 2 (drawings condition) of application reference number 20/00341/FUL</b>	
Decision	:	<b>Conditional Permission</b>	

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Applicant	:	Mr A Hall	23/00445/FUL
Site Address	:	57 Westerlands Stapleford Nottinghamshire NG9 7JE	
Proposal	:	<b>Construct two storey side extension and first floor side / front extension over existing garage</b>	
Decision	:	<b>Conditional Permission</b>	

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Applicant	:	Cornerstone Cornerstone	23/00502/TEL
Site Address	:	Masts Blake Road Stapleford Nottinghamshire	
Proposal	:	<b>The removal of the existing 22m lattice mast and associated ancillary equipment. The installation of a 25m replacement lattice mast, supporting 12 no. antennas and 4 no. 0.6m dishes, associated ancillary development</b>	
Decision	:	<b>Prior Approval Not Required</b>	

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## STAPLEFORD SOUTH WEST WARD

Applicant	:	The Head Teacher William Lilley Infants & Nursery School	23/00565/CCR
Site Address	:	William Lilley Infant And Nursery School Halls Road Stapleford Nottinghamshire NG9 7FS	
Proposal	:	<b>Retention of canopy and hardstanding</b>	
Decision	:	<b>No Objection</b>	

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## TOTON & CHILWELL MEADOWS WARD

Applicant	:	Mr Adam Newton	23/00392/FUL
Site Address	:	6 Mountbatten Way Chilwell Nottinghamshire NG9 6NG	
Proposal	:	<b>Conversion of the existing front garage into habitable living space</b>	
Decision	:	<b>Conditional Permission</b>	

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Applicant	:	Mr D Eden	23/00361/FUL
Site Address	:	147 Spinney Crescent Toton Nottinghamshire NG9 6GE	
Proposal	:	<b>Construct single storey rear extension</b>	
Decision	:	<b>Conditional Permission</b>	

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Applicant	:	Mr Davies	23/00449/CLUE
Site Address	:	33 Seaburn Road Toton Nottinghamshire NG9 6HT	
Proposal	:	<b>Certificate of Lawful existing development to retain single storey extension and removal of a chimney</b>	
Decision	:	<b>Refusal</b>	

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Applicant	:	Mr Mark Holland	23/00391/TPOW
Site Address	:	6 Steven Close Toton Nottinghamshire NG9 6JX	
Proposal	:	<b>Removal of branches to two oak trees</b>	
Decision	:	<b>Conditional Permission</b>	

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Applicant	:	Mrs A Stephenson	23/00516/FUL
Site Address	:	67 Woodstock Road Toton Nottinghamshire NG9 6HW	
Proposal	:	<b>Construct two storey side extension, single storey front, side and rear extension, dormer to rear roof, and raised patio</b>	
Decision	:	<b>Conditional Permission</b>	

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## WATNALL & NUTHALL WEST WARD

Applicant	:	Samantha Wagland	23/00350/FUL
Site Address	:	43 Holly Road Watnall Nottinghamshire NG16 1HP	
Proposal	:	<b>Construct front garage extension and external alterations to single storey rear extension</b>	
Decision	:	<b>Conditional Permission</b>	

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Applicant	:	Mr and Mrs ROB BUTTRESS	23/00397/FUL
Site Address	:	3 Kimberley Road Nuthall Nottinghamshire NG16 1DA	
Proposal	:	<b>Change of use of salon to residential (Class 3) and construct canopy to front entrance; front dormer; two storey side and first floor pitched roof extension to rear; alterations to elevations. Workshop extension to existing garage.</b>	
Decision	:	<b>Conditional Permission</b>	

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Applicant	:	Mr Geoff Lee	23/00446/FUL
Site Address	:	51 Maple Drive Nuthall Nottinghamshire NG16 1EJ	
Proposal	:	<b>Construct single storey side extension</b>	
Decision	:	<b>Conditional Permission</b>	

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